

- A** CHANNEL LETTERS/LOGO
- B** PLATE LETTERS
- C** THANK YOU
- D** CHANNEL LETTERS/LOGO
- E** CHANNEL LETTERS/LOGO
- F** PLATE LETTERS
- G** ENTER DIRECTIONAL
- H** MONUMENT

RECEIVED

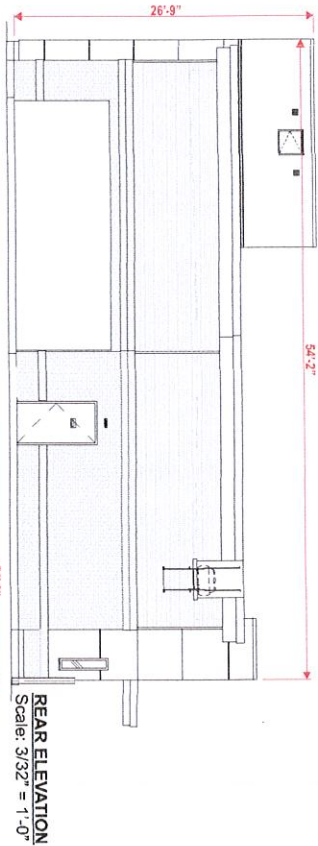
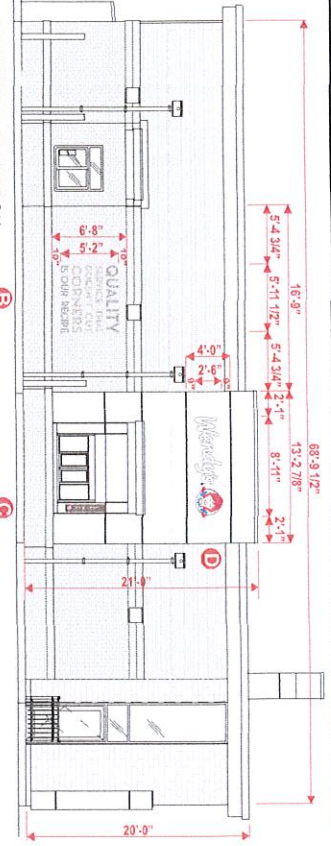
OCT 08 2015

BY: _____

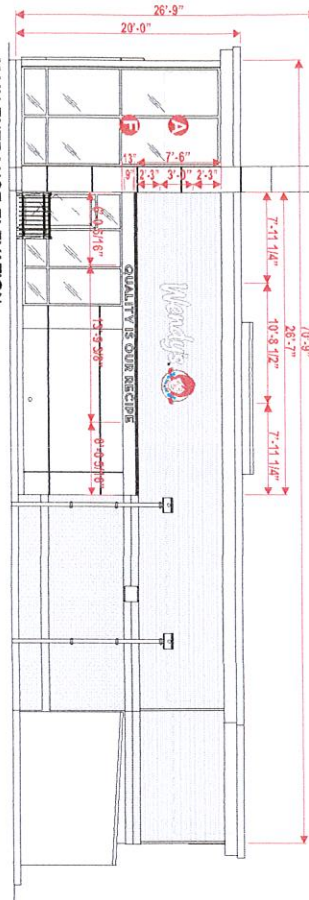
DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.

<p style="font-size: 1.5em; font-weight: bold; color: red;">I.D.</p> <p style="font-weight: bold;">ASSOCIATES</p> <p style="font-size: 0.8em;">1771 INDUSTRIAL ROAD - DOTHAN, ALABAMA - 36303 PH (688) 303-5534 - FAX (334) 936-1401 www.idassociatesinc.com</p>	CLIENT: WENDY'S	STORE #: 11614	DRAWN BY: <i>Amy Burns</i>	
	LOCATION: DANIA BEACH, FL	SCALE: AS NOTED	DATE: 10-2-15	
	ACCOUNT REP: LORI	DRAWING #: WENDYS-DANIA BEACH FL #11614	REV #:	
	<p style="font-size: 0.7em;">UL <small>Underwriters Laboratories Inc.</small></p>			

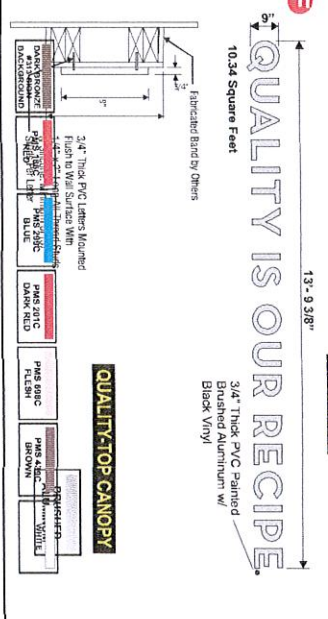
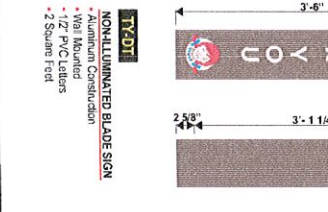
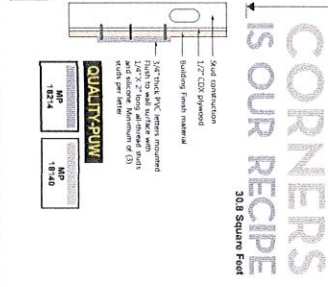
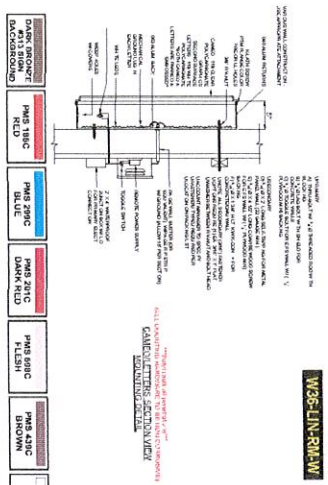
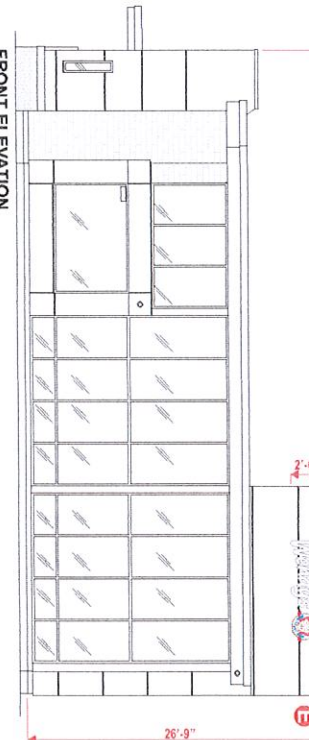
DRIVE THRU ELEVATION
Scale: 3/32" = 1'-0"

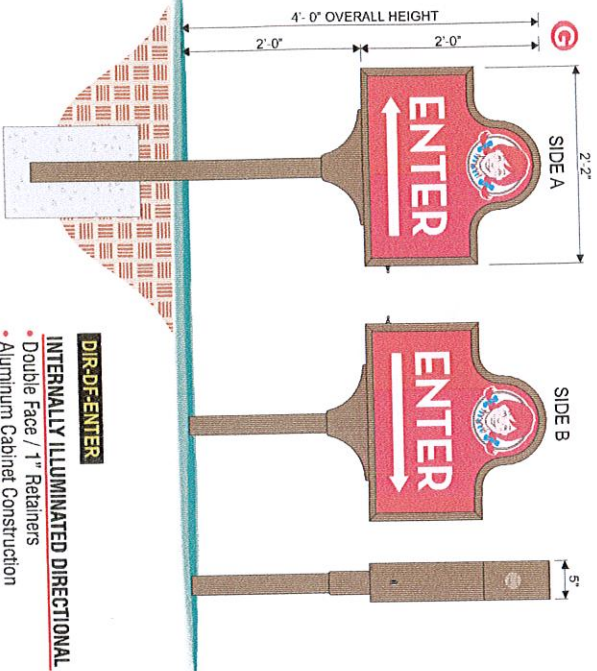


MAIN ENTRANCE ELEVATION
Scale: 3/32" = 1'-0"



FRONT ELEVATION
Scale: 3/32" = 1'-0"

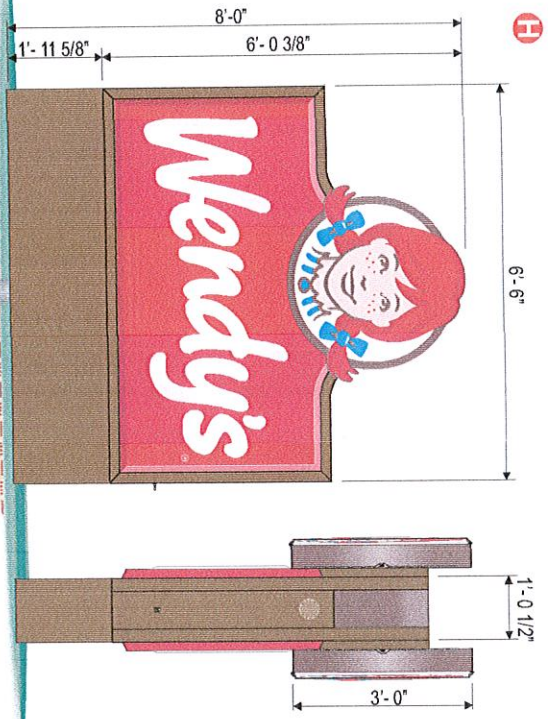




NOTE:
CONCRETE FOUNDATION
IS SITE SPECIFIC

DIR-D-ENTER
INTERNALLY ILLUMINATED DIRECTIONAL

- Double Face / 1" Retainers
- Aluminum Cabinet Construction
- Illuminated with Fluorescent H.O. Lamps
- Clear Polycarbonate Faces
- Vinyl Graphics Second Surface
- Formed ABS Plastic Decorative Pole Cover
- 4.3 Square Feet



NOTE:
CONCRETE FOUNDATION
IS SITE SPECIFIC

WM-25
INTERNALLY ILLUMINATED DOUBLE FACE MONUMENT

- 2" Retainers
- Aluminum Cabinet Construction
- Illuminated with Fluorescent H.O. Lamps / Cameo Illuminated with LEDs
- Clear Polycarbonate Fanned & Embossed Faces
- Vinyl Graphics Second Surface
- Brick Base Subject to Change
- 39.2 Square Feet

DIR-D-ENTER 4.3 SQ. FT. DISCOUNT	PMS 190C RED	PMS 290C BLU	PMS 201C DARK RED	PMS 800C FLASH	PMS 420C BROWN	WHITE
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5' Setback from Street
26' Setback from 50' sidewalk or 50' setback from 15' curb

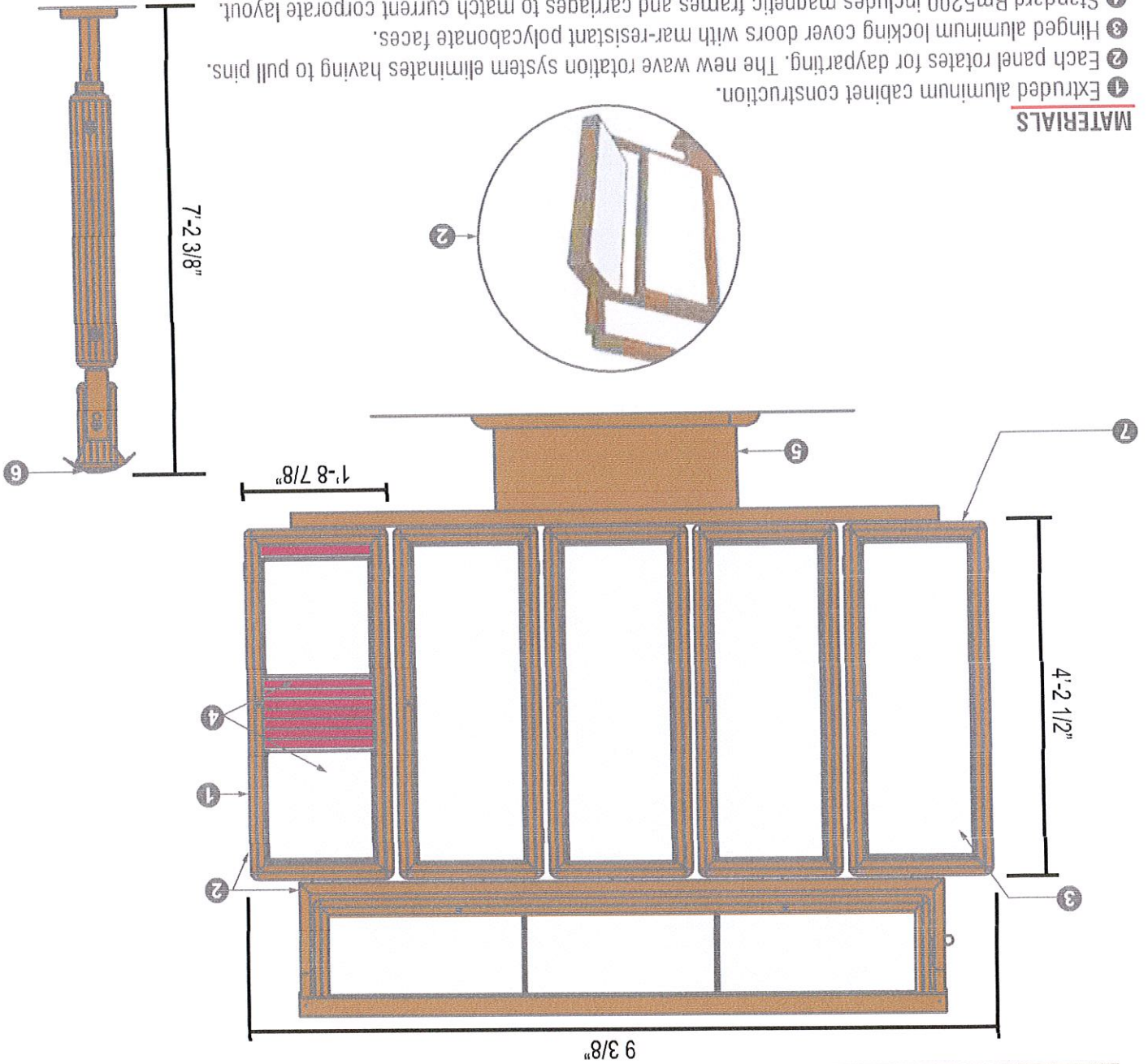
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CLIENT:	WENDY'S	STORE #:	11614
LOCATION:	DANIA BEACH, FL	SCALE:	AS NOTED
ACCOUNT REP:	LORI	DRAWING #:	WENDYS-DANIA BEACH FL #11614
DRAWN BY:	Amy Burns		DATE:
			10-2-15
		REV #:	

I.D. ASSOCIATES
1771 INDUSTRIAL ROAD - DOTHAN, ALABAMA - 36303
PH (888) 303-5534 - FAX (334) 636-1401
www.idassociatesinc.com

EXTERIOR SIGNAGE REVOLUTION MENU BOARD

55.88 sq. ft. actual size

**EXTERIOR SIGNAGE
RM5200 NEW LOGO MENU BOARD**



MATERIALS

- ① Extruded aluminum cabinet construction.
- ② Each panel rotates for dayparting. The new wave rotation system eliminates having to pull pins.
- ③ Hinged aluminum locking cover doors with mar-resistant polycarbonate faces.
- ④ Standard Rm5200 includes magnetic frames and carriages to match current corporate layout.
- ⑤ Graphics provided by others. Strips and price kit additional charge. Backout liners optional.
- ⑥ Protective rain guard - an NSS exclusive.
- ⑦ Illuminated - T12 lamps. One ballast per cabinet.

*Total electrical load = 1.2 amps. Requires 1-20 amp circuit @ 120V/60Hz.

SOFT METALLIC BROWN
(cabinets, pole cover)

COLORS AND FINISHES



Wendys

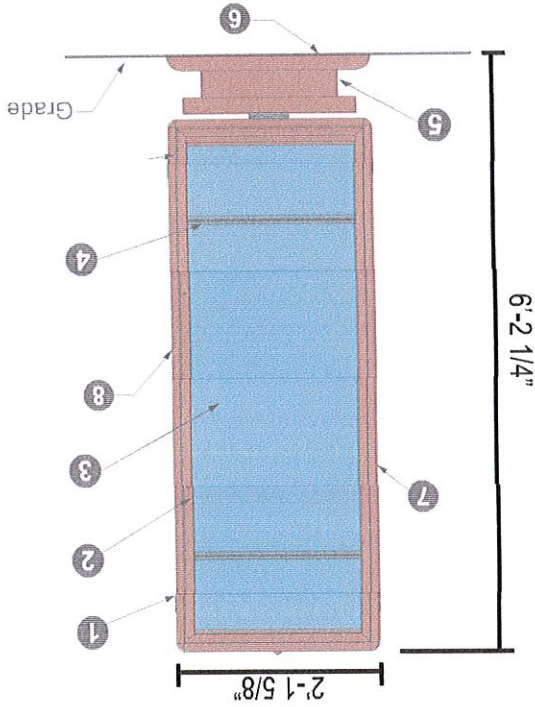
I.D. ASSOCIATES

EXTERIOR SIGNAGE REVOLUTION MENU BOARD

13.2 sq.ft. actual size



**EXTERIOR SIGNAGE
RM1700 NEW LOGO MENU BOARD**



MATERIALS

- 1 Extruded aluminum cabinet construction.
- 2 Side hinged extruded aluminum cover doors.
- 3 MR 10 scratch resistant cover door faces.
- 4 Versatrac magnetic trafilite frames.
- 5 Formed ABS pole cover.
- 6 Bolt mounting pattern matches existing Coke preview boards
- 7 Illumination- T12 lamps
- 8 Cabinet rotates for paypart.

MOUNTING

Base plate is anchor bolted to an 18" diameter x 36" deep concrete foundation with (4) 5/8" x 16" deep J bolts.

FOUNDATION REQUIREMENTS

Foundation specifications subject to local soil conditions and code requirements.

*Total electrical load = 1.16 amps. Requires 1-15 amp circuit @ 120V/60HZ.

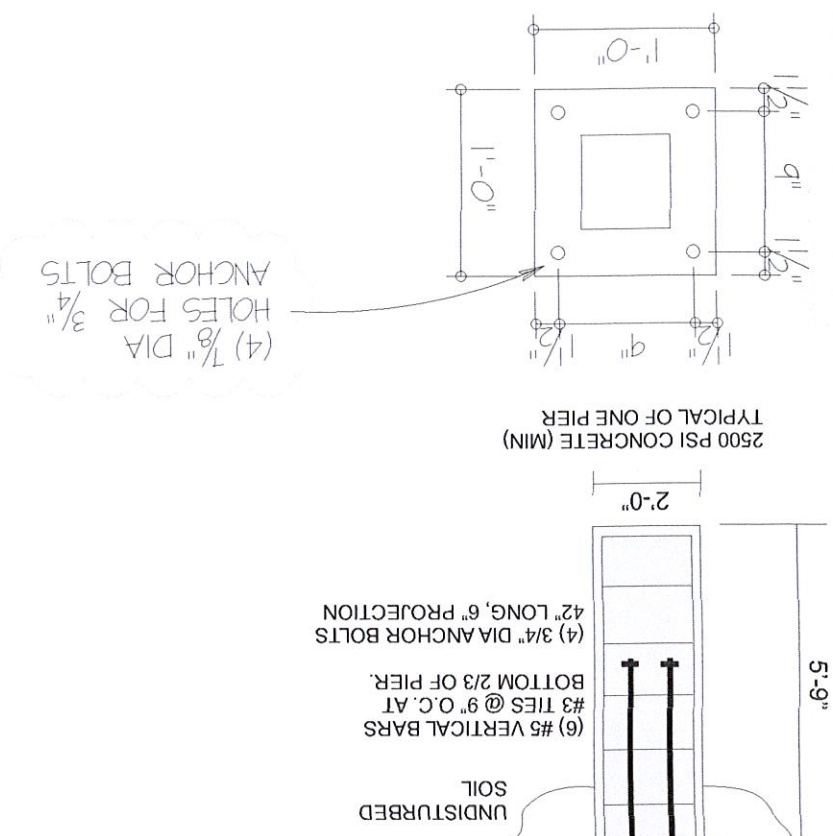
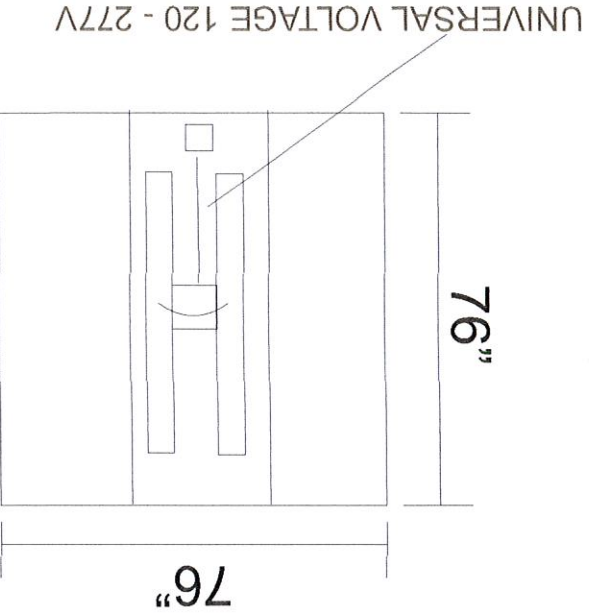
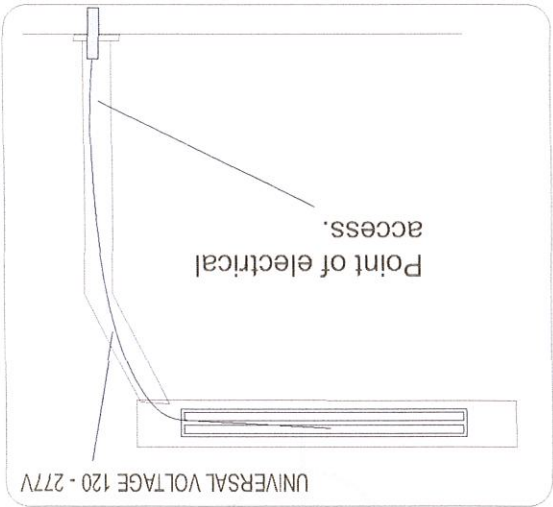
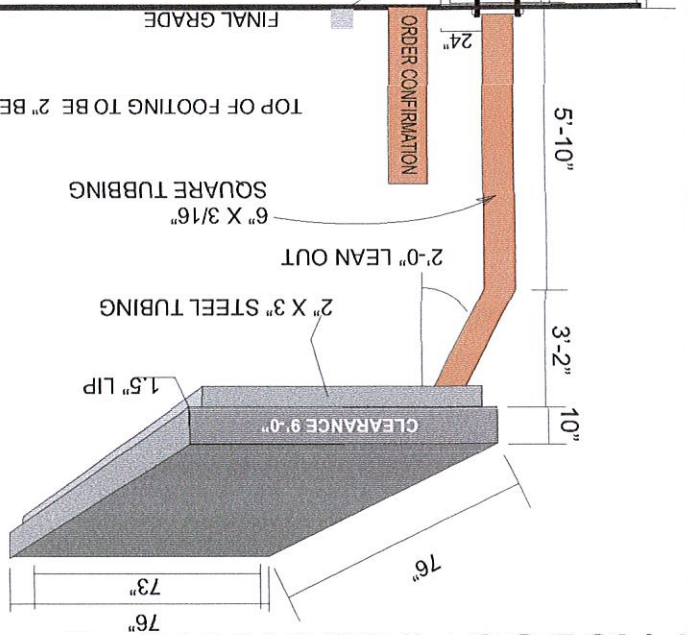
SOFT METALLIC BROWN
(cabinets, pole cover)

COLORS AND FINISHES

Optional removable metal blackout liner available if breakfast is not being served. Will not warp or fade.



PIVOTING CANOPY SYSTEM LAYOUT FOR STORES THAT HAVE ORDER CONFIRMATION SYSTEMS IN PLACE. PRODUCT #OSC1801U



Wendy's

Job # _____
Client: _____
City/State: _____
Address: _____

Job: _____

KBP CONSULTING, INC.

September 30, 2015

Mr. Ronnie S. Navarro, P.E.
City Engineer – Public Services Department
City of Dania Beach
100 W. Dania Beach Boulevard
Dania Beach, Florida 33004

**Re: Proposed Wendy's Restaurant – Dania Beach, Florida
Trip Generation Analysis**

Dear Mr. Navarro:

The Wendy's Company proposes to construct a fast food restaurant with drive-through lane on the north side of Griffin Road (State Road 818) just east of Anglers Avenue / Ravenswood Road in Dania Beach, Broward County, Florida. More specifically, the subject site is located at 2071 Griffin Road.

The subject site is a portion of a larger parcel that contains two existing hotels (a Fairfield Inn with 157 rooms and a Homewood Suites with 124 rooms). The proposed Wendy's site is currently vacant; however, it is approved for 64,325 square feet of office space. The purpose of this technical memorandum is to document the trip generation characteristics of the currently approved land use (i.e. office building) with those of the currently proposed land use (i.e. Wendy's Restaurant).

Trip Generation Analysis

The trip generation for this project was determined utilizing the trip generation rates and equations contained in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual (9th Edition)*. According to the subject ITE manual, the most appropriate land use categories for the subject site are Land Use #710 – General Office Building and Land Use #934 – Fast Food Restaurant with Drive-Through Window. The trip generation rates and equations used to determine the vehicle trips associated with this analysis are presented below.

ITE Land Use #710 – General Office Building

- Weekday: $\text{Ln}(T) = 0.76 \text{Ln}(X) + 3.68$
where T = number of trips and X = 1,000 square feet of gross floor area
- AM Peak: $\text{Ln}(T) = 0.80 \text{Ln}(X) + 1.57$ (88% in / 12% out)
- PM Peak: $T = 1.12 (X) + 78.45$ (17% in / 83% out)

ITE Land Use #934 – Fast-Food Restaurant with Drive-Through Window

- Weekday: $T = 496.12 (X)$
where T = number of trips and X = 1,000 square feet of gross floor area
- AM Peak: $T = 45.42 (X)$ (51% in / 49% out)
- PM Peak: $T = 32.65 (X)$ (52% in / 48% out)
- Pass-By: 49%

KBP CONSULTING, INC.

Table 1 below summarizes the trip generation characteristics associated with the approved office space and the proposed Wendy's Restaurant at the 2071 Griffin Road site in Dania Beach, Florida.

Table 1 Trip Generation Summary Proposed Wendy's (2071 Griffin Road) - Dania Beach, Florida								
Land Use	Size	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
			In	Out	Total	In	Out	Total
<i>Currently Approved</i> General Office Building	64,325 SF	939	118	16	134	26	124	150
<i>Currently Proposed</i> Fast-Food Restaurant w/ Drive-Thru - Pass-By (49%)	3,426 SF	1,700 (833)	80 (39)	76 (37)	156 (76)	58 (28)	54 (27)	112 (55)
Sub-Total		867	41	39	80	30	27	57
Difference (Proposed - Approved)		(72)	(77)	23	(54)	4	(97)	(93)

Compiled by: KBP Consulting, Inc. (September 2015).

Source: Institute of Transportation Engineers (ITE) Trip Generation Manual (9th Edition).

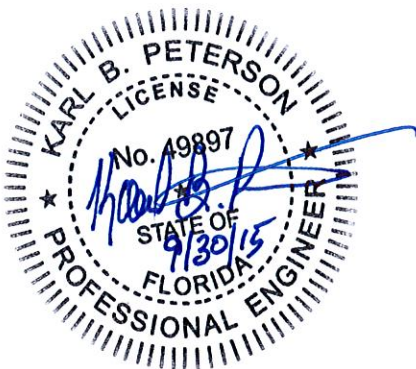
As indicated above, the proposed fast food restaurant with drive-through window is projected to generate 72 fewer net new daily vehicle trips, 54 fewer net new AM peak hour vehicle trips and 93 fewer net new PM peak hour vehicle trips when compared with the currently approved (but unbuilt) general office space.

Conclusions

In summary, the foregoing trip generation analysis indicates that the proposed land use (i.e. Wendy's Restaurant) will result in an overall trip generation reduction on a daily and a peak hour (AM and PM) basis when compared with the currently approved use (i.e. office) for the subject site. If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

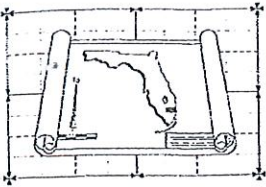
KBP CONSULTING, INC.



Karl B. Peterson, P.E.
Florida Registration Number 49897
KBP Consulting, Inc.
8400 N. University Drive, Suite 309
Tamarac, Florida 33321
CA # 29939

8400 North University Drive, Suite 309, Tamarac, Florida 33321

Tel: (954) 560-7103 Fax: (954) 582-0989



BROWARD COUNTY PLANNING COUNCIL

115 South Andrews Avenue, Room 307 • Fort Lauderdale, Florida 33301 • Phone: 954.357.6695

November 17, 2014

Edward P. Ploski, AICP
Corporate Property Services, Inc.
1239 East Newport Center Drive, Suite 113
Deerfield Beach, Florida, 33442

Dear Mr. Ploski:

Re: Platting requirements for a parcel legally described as a portion of Parcel "A," "Airport Commerce Center Plat," according to the Plat thereof, as recorded in Plat Book 175, Page 38, of the Public Records of Broward County, Florida. This parcel is generally located on the north side of Griffin Road, between Ravenswood Road and Interstate 95, in the City of Dania Beach.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed non-residential development on the above referenced parcel.

Planning Council staff has determined that replatting is not required by Section D.2, Chapter IV, of the Broward County Land Use Plan. Section D.2. would not require replatting of parcels included in plats approved by the Broward County Commission and recorded after June 4, 1953. Information from the Broward County Records, Taxes and Treasury Division indicates that the above referenced plat was recorded on September 14, 2005.

It is recommended that you contact Broward County's Development Management and Environmental Review Section at 954-357-6637, to inquire about whether additional County review, such as a plat note modification, may be required. Further, some jurisdictions may be more restrictive and require platting in more situations than the Broward County Land Use Plan. The City of Fort Lauderdale's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the Broward County Land Use Plan, including concurrency requirements.

Edward P. Ploski, AICP

November 17, 2014

Page Two

If you have any additional questions regarding the Broward County Land Use Plan's platting requirements, please contact Matthue Goldstein, Associate Planner, at your convenience.

Respectfully,



Barbara Blake Boy
Executive Director

✓ BBB:MEG

cc: Robert Baldwin, City Manager
City of Dania Beach

Marc LaFerrier, AICP, Director, Community Development Department
City of Dania Beach



Department of Fire Rescue & Emergency Services
Fire Marshal's Office
Dania Beach District

103 West Dania Beach Blvd. • Dania Beach, Florida 33004
Office: (954)342-4262 • Fax: (954)342-4265

September 23, 2015

U. S. Post Office
Address Management Office
2200 NW 72 Avenue, Suite 222
Miami, FL 33152

NEW ADDRESS ASSIGNMENT – Craig McDonald, Corp. Property Services
Folio No / Property ID: 5042-28-17-0030

Dear Sir:

This referenced commercial property is currently listed as: **Ravenswood Road**, Dania Beach, in the Broward County Property Appraiser website. It is pending construction for a new Wendy's that will be facing Griffin Road. The site plan and legal description are enclosed.

The new address will be assigned as:

2071 Griffin Road, Dania Beach, FL 33312

Please do not hesitate to contact me should you have any questions concerning this correspondence.

Sincerely,

Frank Ross
Fire Safety Inspector

FR:jap
Enclosures

Cc: City Community Development; Water Utility Billing; Business Tax-License
911Telecommunications, 115 S. Andrews Ave., Ste.325, Ft. Lauderdale, FL 33301
Holly Cimino, 115 S Andrews Avenue, Room 111, Fort Lauderdale, FL 33301
Craig@corporatepropertyservices.net – (954) 426-5144



Site Address	RAVENSWOOD ROAD, DANIA BEACH	ID #	5042 28 17 0030
Property Owner	GRIFFIN ROAD THREE LLC % NICHOLAS ECONMOS SR	Millage	0413
Mailing Address	4000 FEDERAL HWY STE 206 BOCA RATON FL 33431	Use	28

Abbreviated Legal Description	AIRPORT COMMERCE CENTER 175-38 B PORTION PARCEL A,DESC AS COMM AT NE COR PAR A,SE 373 83 TO POB CONT SE 199 17 ALG E/L,SW 42.05 SW 17 29,NW 51 42,SW 390.44,NW 107.27,SW 145.02,NW 71.33,NE 311 48,NW 50.10,NE 214.12,NW 47.46,SW 18,NW 141,NE 60,SE 188.33,NE 64.69 TO POB AKA:OFFICE PARCEL
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The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).

Property Assessment Values					
Click here to see 2014 Exemptions and Taxable Values as reflected on the Nov. 1, 2014 tax bill.					
Year	Land	Building	Just / Market Value	Assessed / SOH Value	Tax
2015	\$1,808,220	\$159,160	\$1,967,380	\$1,898,900	
2014	\$1,567,120	\$159,160	\$1,726,280	\$1,726,280	\$36,167.70
2013	\$1,808,220	\$159,160	\$1,967,380	\$1,832,770	\$39,894.23

2015 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$1,967,380	\$1,967,380	\$1,967,380	\$1,967,380
Portability	0	0	0	0
Assessed/SOH	\$1,898,900	\$1,967,380	\$1,898,900	\$1,898,900
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wld/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$1,898,900	\$1,967,380	\$1,898,900	\$1,898,900

Sales History			
Date	Type	Price	Book/Page or CIN
6/10/2008	SWD-D	\$400	45442 / 343
7/5/2006	WD*	\$7,500,000	42381 / 1525
9/19/2005	WD*	\$6,900,000	40553 / 1361

Land Calculations		
Price	Factor	Type
\$15 00	120,548	SF
Adj. Bldg. S.F. (Card, Sketch)		

* Denotes Multi-Parcel Sale (See Deed)

Test: Click for new maps

Special Assessments								
Fire	Carb	Light	Drain	Impr	Safe	Storm	Clean	Misc
04								
A								
277								

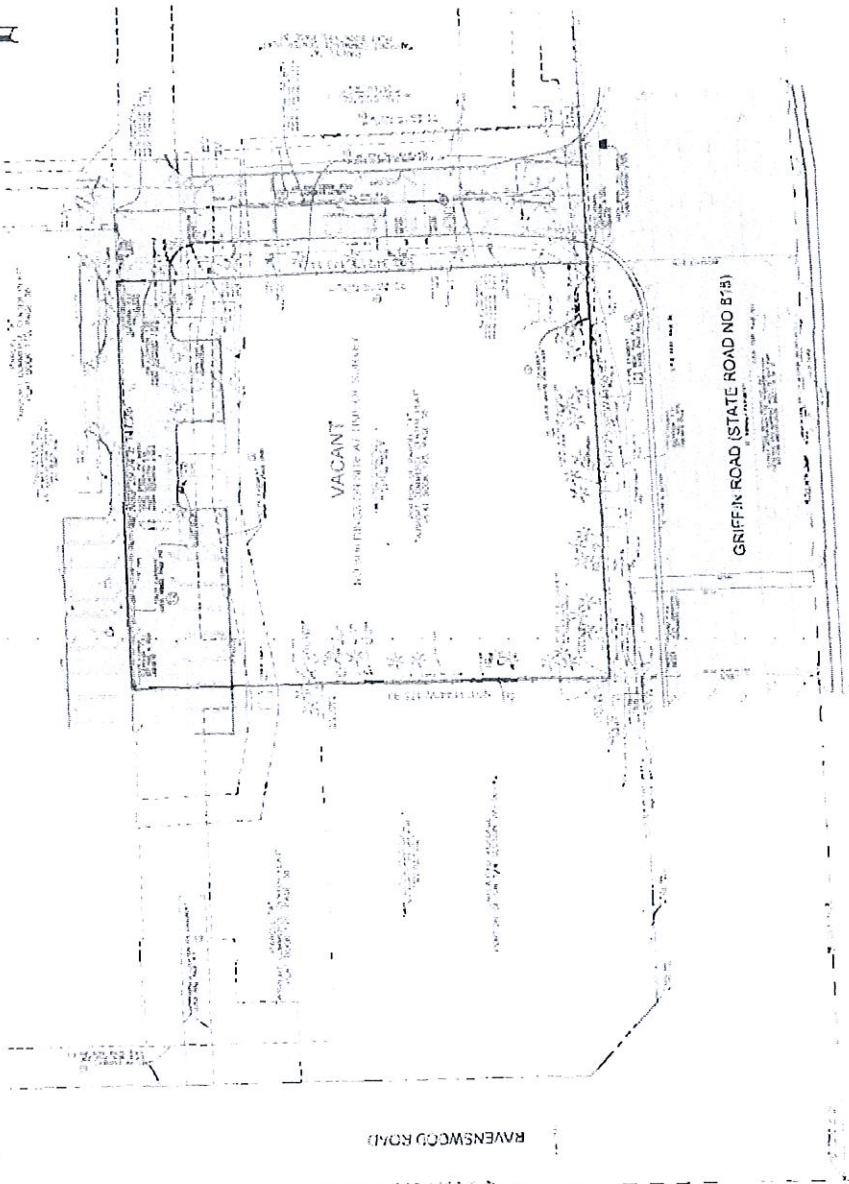
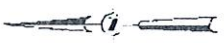


PROPOSED BOUNDARY AND TOPOGRAPHIC SURVEY
 ALTAZCSM LAND TITLE SURVEY

PLS

PULICE LAND SURVEYORS, INC.

112 WINDING WAY
 ALTAZCSM, ARIZONA 85120



PROPOSED BOUNDARY AND TOPOGRAPHIC SURVEY
 ALTAZCSM LAND TITLE SURVEY

PLS

PULICE LAND SURVEYORS, INC.

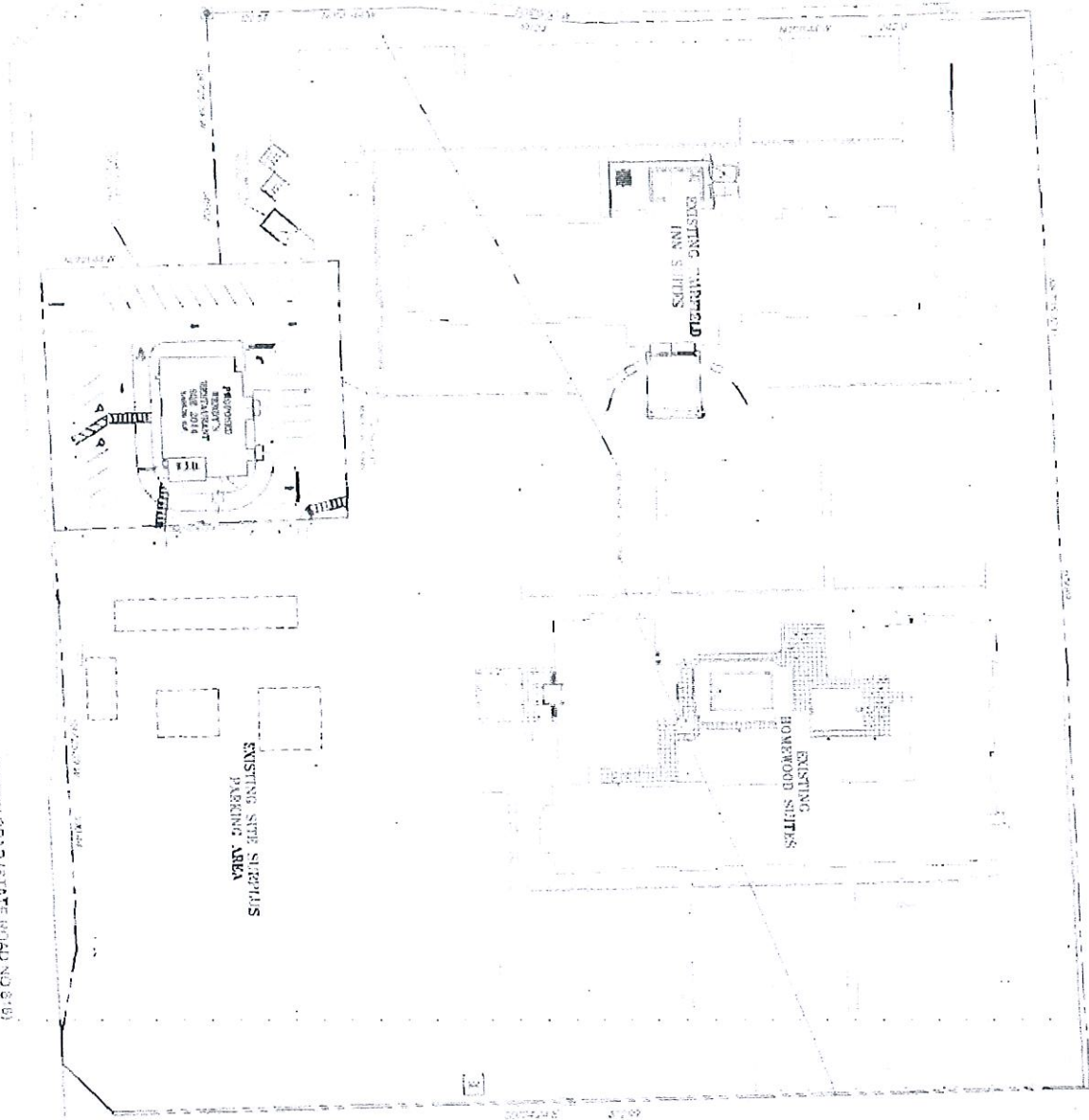
112 WINDING WAY
 ALTAZCSM, ARIZONA 85120

OVERALL SITE PLAN



CHAPMAN ROAD / STATE ROAD NO. 879

RAVENSWOOD ROAD



PARKING REQUIREMENTS THIS APPLICATION

APPROVED BY: [Signature]

NO. OF SPACES	TYPE OF SPACES	REMARKS
100	STANDARD	FOR OFFICE USE
50	STANDARD	FOR VISITORS
5	STANDARD	FOR DELIVERIES
5	STANDARD	FOR SERVICE
5	STANDARD	FOR EMERGENCY
5	STANDARD	FOR OTHER USES
170	TOTAL	

PARKING REQUIREMENTS PROVISIONS APPROVAL

NO. OF SPACES	TYPE OF SPACES	REMARKS
100	STANDARD	FOR OFFICE USE
50	STANDARD	FOR VISITORS
5	STANDARD	FOR DELIVERIES
5	STANDARD	FOR SERVICE
5	STANDARD	FOR EMERGENCY
5	STANDARD	FOR OTHER USES
170	TOTAL	

LOCATION SHEET



PLANS ISSUE FOR SITE PLAN APPROVAL - NOT FOR CONSTRUCTION

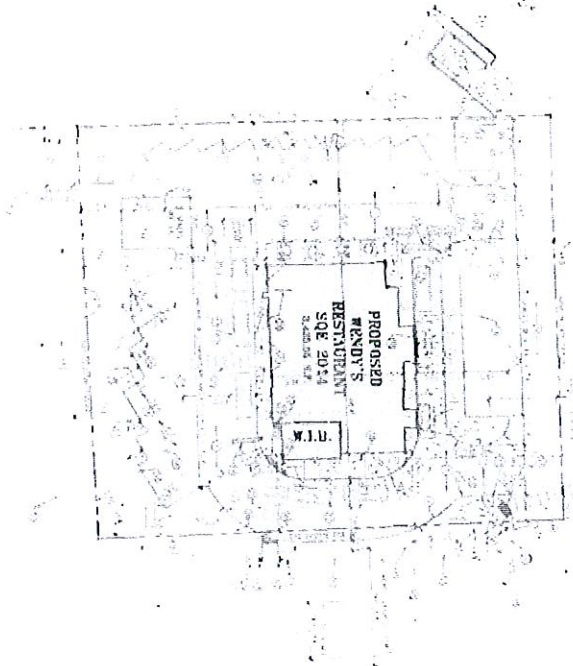
<p>C-0</p>	<p>project no: AD 14049</p> <p>scale: 1/8" = 1'-0"</p> <p>date: 10/12/10</p> <p>drawn by: J. J. Revisions</p>	<p>WENDY'S RESTAURANT 2100 WAZLEY ROAD DAVA HEAD, FL 33135</p>	<p>CKE GROUP INCORPORATED</p> <p>engineering • architecture • planning</p>	
	<p>18500 NEW BARN ROAD • SUITE 100 • MIAMI LAKES, FLORIDA 33014 • (305) 658-4124</p>			

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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SITE PLAN



GRIFFIN ROAD



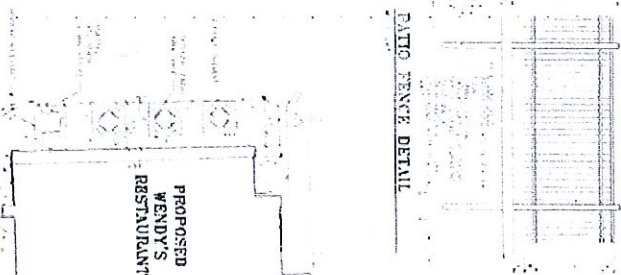
EMERGENCY SERVICES

HOMINGTON SHOPS



20000 Industrial Research
 Office Marine (Brow)
 LAND USE, INDUSTRIAL
 THUNDERBOLT HEIGHT 30-24
 SITE ANALYSIS

OUTDOOR SEATING AREA
 (PATIO DETAIL)



PATIO FENCE DETAIL

PROPOSED
 WENDY'S
 RESTAURANT

LEGAL DESCRIPTION:
 ...
 ...
 ...

CONSTRUCTION NOTES:

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
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PLANS 18606 FOR SITE PLAN APPROVAL - NOT FOR CONSTRUCTION

project no: 18606
 scale: AS SHOWN
 date: 07/27/12
 drawn by: CW revisions:

PROPOSED
 WENDY'S RESTAURANT
 16600 BARN ROAD
 MIAMI LAKES, FL 33014

CKE GROUP
 INCORPORATED
 engineering • architecture • planning

16600 NEW BARN ROAD • SUITE 108 • MIAMI LAKES, FLORIDA 33014 • 13051 558-4124



AVIATION DEPARTMENT - Fort Lauderdale/Hollywood International Airport
2200 SW 45th Street, Suite 101 • Dania Beach, Florida 33312 • 954-359-6100

October 1, 2015

Marc LaFerrier, AICP
Planning Director
City of Dania Beach
100 West Dania Beach Blvd
Dania Beach, FL 33004

**RE: Wendy's, 2071 Griffin Road, Dania Beach FL
Broward County Aviation Department (BCAD) Review**

Dear Mr. LaFerrier:

The Broward County Aviation Department (BCAD) has reviewed the proposed Wendy's development located west of Fort Lauderdale-Hollywood International Airport (FLL). Since the proposed project is within 20,000 feet of FLL, its development and operation is subject to Federal Aviation Regulation (FAR) Part 77, Florida Statutes Chapter 333 and/or the Broward County Airport Zoning Ordinance. These standards seek to ensure that any proposed construction, use of high lift equipment, such as cranes, or other potential hazards will not negatively impact the safe and efficient use of the airport and surrounding airspace. Taking into consideration the proximity of this project to FLL, BCAD is providing the following comments regarding the proposed development:

- Based on the location of the proposed project, FAR Part 77, Subpart B and Section 5-182(n)(2) of the Broward County Land Development Code, require the applicant to obtain a "Determination of No Hazard to Air Navigation" from the Federal Aviation Administration (FAA). The receipt of a favorable determination is required for all critical building points and temporary construction cranes and must be received prior to any construction activity. If you have not already done so, please use the following web address to initiate the Federal Review (FAA 7460-1) process: <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>.
- Following the receipt of a favorable FAA determination, the applicant may also need to obtain "airspace obstruction permits" from the Florida Department of Transportation (FDOT). This documentation is necessary to determine if the project will adversely affect public health or safety. If required, these permits must be obtained prior to the commencement of any construction. The following web address can be used to acquire additional information pertaining to the FAA and FDOT airspace obstruction review and permitting process: <http://www.dot.state.fl.us/aviation/obstructions.shtm>.

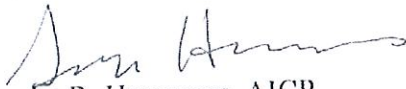
- No building, structure or vegetation on the site may exceed 27 feet AGL as shown on the architectural elevations and site plan, unless submitted to BCAD for additional review.
- The proposed development must not generate light, glare, smoke or other emissions that could be disorienting to pilots operating in the vicinity of the airfield.
- The proposed development must not attract wildlife that would be a potential safety hazard to aircraft operations.

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This review also serves to advise to the applicant of potential aircraft over-flight and noise impacts on this property due to its proximity to the Airport. Further information regarding the current and potential impacts of airport operations on the subject property may be obtained from the Broward County Aviation Department, Airport Development Planning Division. The applicant should note that the project is not eligible for federal funding to mitigate aircraft noise.

Please do not hesitate to contact me if you have questions or require additional information at 954.359.6258.

Sincerely,



Scarlet R. Hammons, AICP
Principal Planner

cc: Michael P. Pacitto, P.G., Director Planning and Environmental



**BROWARD SHERIFF'S OFFICE
DEPARTMENT OF FIRE RESCUE AND EMERGENCY SERVICES
FIRE MARSHAL'S BUREAU
DANIA BEACH DISTRICT**
103 West Dania Beach Boulevard
Dania Beach, FL 33004
Phone: (954) 342-4262
Fax: (954) 342-4265



APPLICATION FOR APPROVAL OF THE FIRE PROTECTION WATER SUPPLY DESIGN

Date of Application: 10/8/15
 Application #: SP-080-15
 Name of Project/Development: Wendy's #11614
 Address of Project/Development: TBD 2071 Griffin Road, Dania Beach, FL, 33315
 Owner/Agent: Craig McDonald - Agent
 Design Professional of Record: Eduardo Carcache
 Water Purveyor: Broward County Water and Wastewater Services
 Water Purveyor Address: 2555 W. Copans Road, Pompano Beach, FL 33069

In order for the Broward Sheriff's Office, Department of Fire Rescue, Fire Marshal's Bureau to provide an approval letter for the adequacy of the fire protection water supply design for the above referenced project, the following information must be provided:

Affirmation of Compliance with Fire Protection Water Supply Design Requirements:

1. The Type of Construction is V-(000) in accordance with NFPA 220.
2. The total fire protection water supply needed for manual firefighting (fire flow) and fire sprinkler/standpipe operations is 2750 gallons per minute. (In compliance with water supply requirements for manual firefighting operations in accordance NFPA 1 (2012 Ed.), Chapter 18, Section 18.4 and the Broward County Land Development Code; and the water supply necessary for fire sprinkler and standpipe operations in accordance with the currently adopted editions of NFPA 13 and NFPA 14).
3. **Statement of verification from the design professional of record, on official company letterhead, that the proposed water main sizing, fire hydrant spacing, and fire hydrant locations, are in compliance with the Broward County Land Use Code and the Florida Fire Prevention Code. (Attach signed and sealed document).**

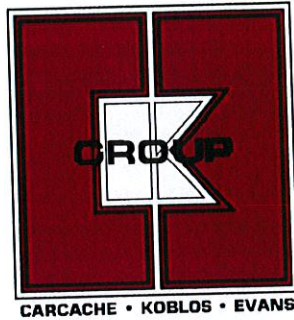
This will affirm that the above stated information and attached statement of verification for this project/development is accurate and can be relied on for the requested approval letter to the applicable water purveyor.

[Signature]
Signature - Owner/Agent/Occupant:

10/7/15
Date

[Signature]
Signature - Design Professional of Record

10/5/15
Date



October 6, 2015

City of Dania Beach
Community Development Department
Department of Fire Rescue and Emergency Services
Fire Marshal's Office
103 W. Dania Beach Blvd.
Dania Beach, FL, 33004

Re: Wendy's #11614
2071 Griffin Road, Dania Beach, FL, 33315
Statement of Verification

Dear Mr. Brown:

This Statement of Verification letter is to confirm, as Engineer of Record for this project, that the site for the proposed Wendy's Restaurant #11614, located at 2071 Griffin Road, Dania Beach, FL, 33315, is in compliance with the Broward County Land Use Code and the Florida Fire Prevention Code. The existing water main loop is D.I.P. 12" in diameter, the three (3) nearby fire hydrants onsite are fed from the described water main loop, are separated less than 300 ft between them and the proposed building is within a proximity radius less than 300 ft from each fire hydrant; confirming this verification of compliance.

We appreciate your assistance with this project. Please do not hesitate to contact us if you have any question regarding this certification.

Sincerely,

CKE Group, Inc.

Eduardo L. Carcache, P.E.

CKE GROUP, INC.

ENGINEERING
15500 NEW BARN ROAD

• SUITE 106

ARCHITECTURE
• MIAMI LAKES, FLORIDA 33014

• PLANNING
305-558-4124

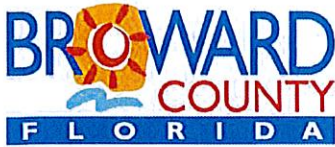
Wendy's Restaurant at Dania Beach, FL

Water and Waste Water average day demand

	Requirement	gpd/unit	Approved Office Building		Prop. Wendy's Restaurant	
			Area	gpd	Area	gpd
Previously Approved Office Building	1000 SF of gross building area	42	64325	2701.65		
Prop. Wendy's Restaurant	1000 SF of gross building area	356			3515	1251.34
Total average day flow				2701.65		1251.34
Max Day		1.28		3458.11		1601.72
Peak hour demand		1.73		5982.53		2770.97
NET Peak hour demand						-3211.57

	Requirement	gpd/unit	Approved Office Building		Prop. Wendy's Restaurant	
			Area	gpd	Area	gpd
Previously Approved Office Building	1000 SF of gross building area	34	64325	2187.05		
Restaurant	1000 SF of gross building area	290			3515	1019.35
Total average day flow				2187.05		1019.35
NET Avg. day demand						-1167.70

CKE Group, Inc.



AVIATION DEPARTMENT - Fort Lauderdale/Hollywood International Airport
2200 SW 45th Street, Suite 101 • Dania Beach, Florida 33312 • 954-359-6100

October 1, 2015

Marc LaFerrier, AICP
Planning Director
City of Dania Beach
100 West Dania Beach Blvd
Dania Beach, FL 33004

**RE: Wendy's, 2071 Griffin Road, Dania Beach FL
Broward County Aviation Department (BCAD) Review**

Dear Mr. LaFerrier:

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- Based on the location of the proposed project, FAR Part 77, Subpart B and Section 5-182(n)(2) of the Broward County Land Development Code, require the applicant to obtain a "Determination of No Hazard to Air Navigation" from the Federal Aviation Administration (FAA). The receipt of a favorable determination is required for all critical building points and temporary construction cranes and must be received prior to any construction activity. If you have not already done so, please use the following web address to initiate the Federal Review (FAA 7460-1) process: <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>.
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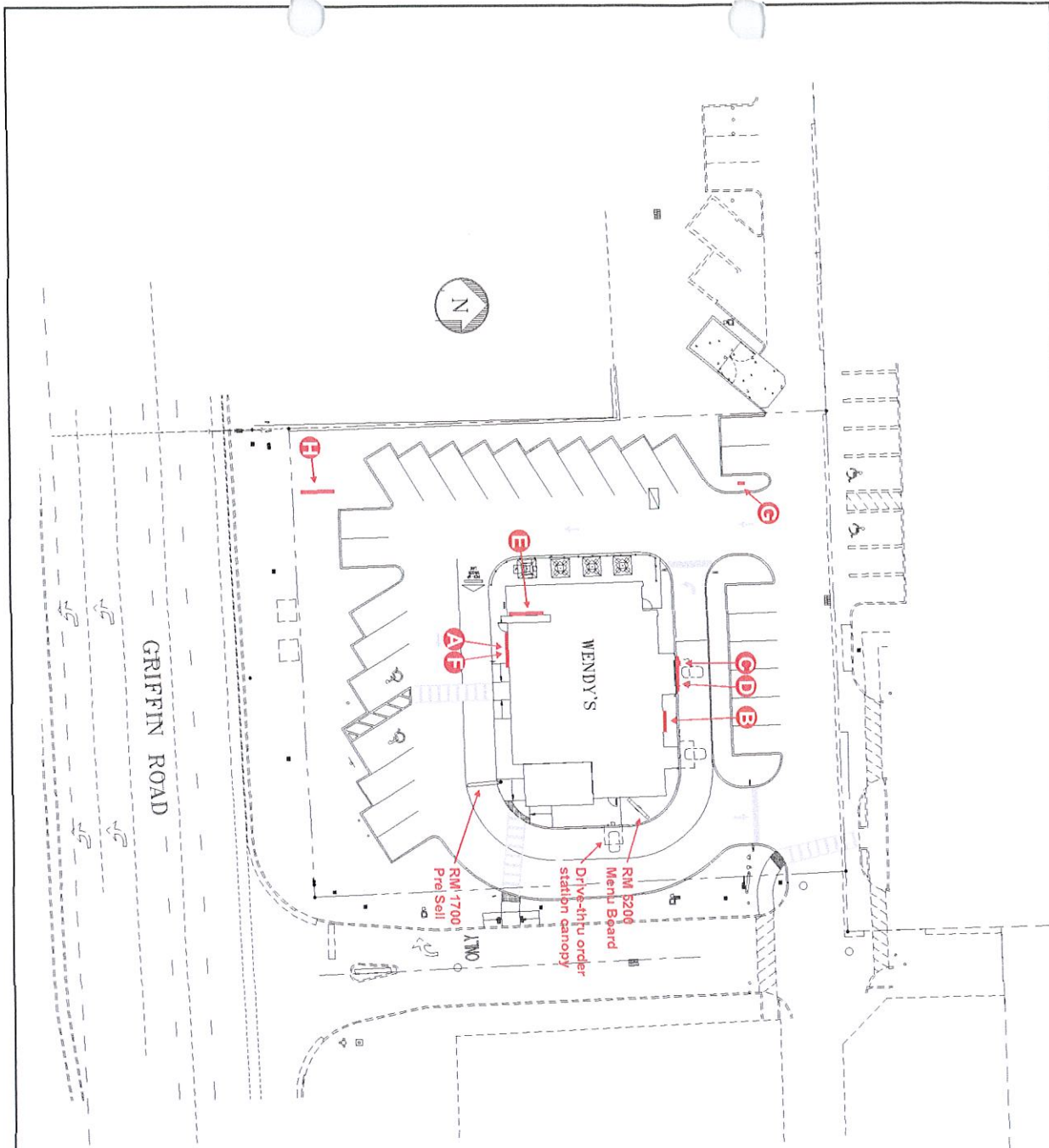
Please do not hesitate to contact me if you have questions or require additional information at 954.359.6258.

Sincerely,



Scarlet R. Hammons, AICP
Principal Planner

cc: Michael P. Pacitto, P.G., Director Planning and Environmental



- A CHANNEL LETTERS/LOGO
- B PLATE LETTERS
- C THANK YOU
- D CHANNEL LETTERS/LOGO
- E CHANNEL LETTERS/LOGO
- F PLATE LETTERS
- G ENTER DIRECTIONAL
- H MONUMENT

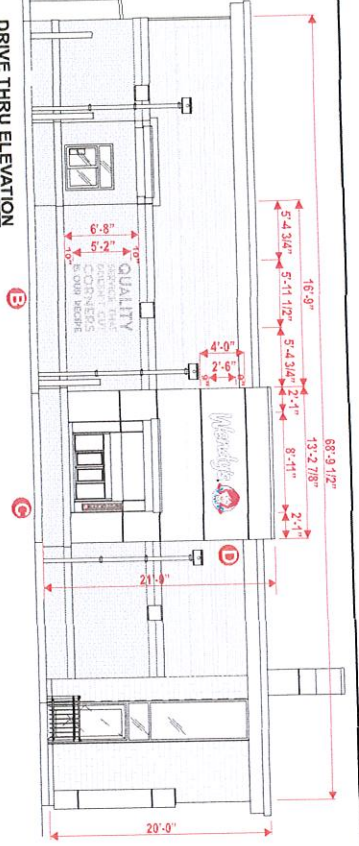
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 BY: _____

FILE COPY

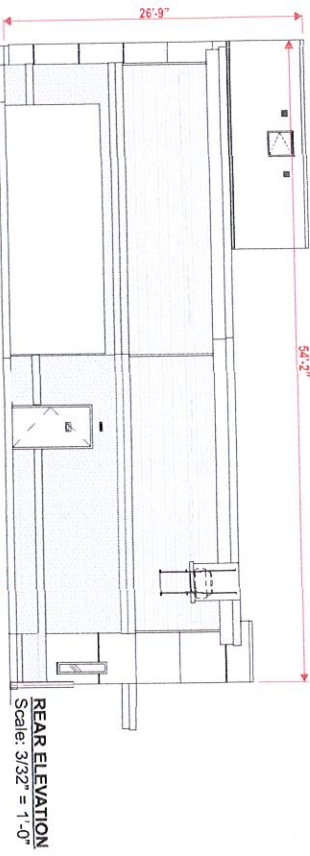
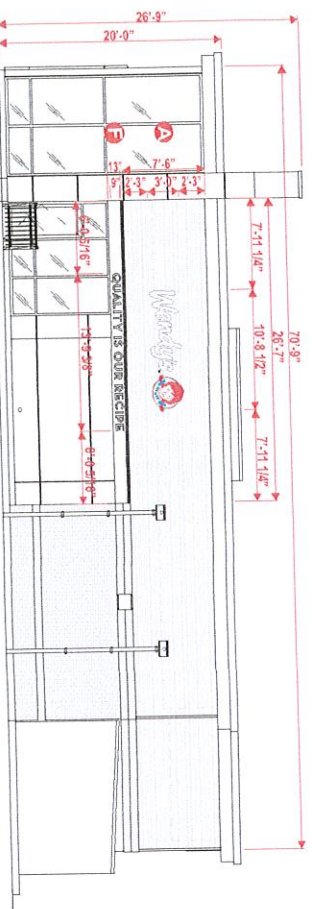
DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.

I.D. ASSOCIATES 1771 INDUSTRIAL ROAD - DOTHAN, ALABAMA - 36303 PH (888) 303-5534 - FAX (334) 836-1401 www.idassoc.com	CLIENT:	WENDY'S	STORE #:	11614	DRAWN BY:	Amy Burns
	LOCATION:	DANIA BEACH, FL	SCALE:	AS NOTED	DATE:	10-2-15
	ACCOUNT REP:	LORI	DRAWING #:	WENDYS-DANIA BEACH FL #11614	REV #:	

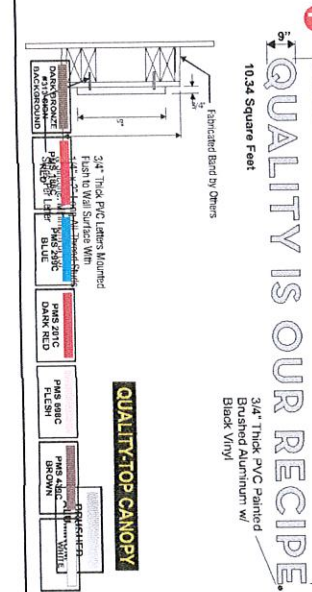
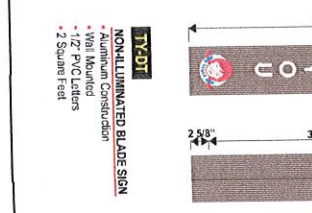
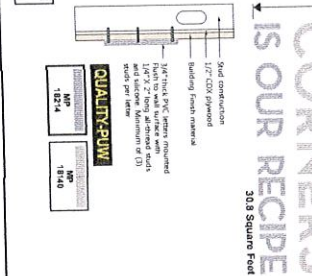
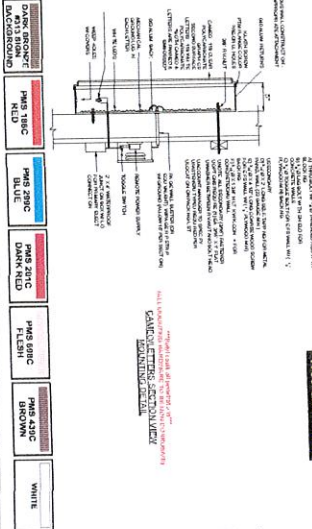
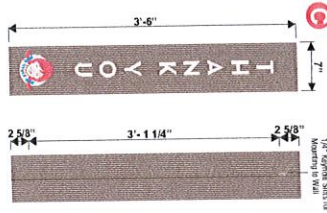
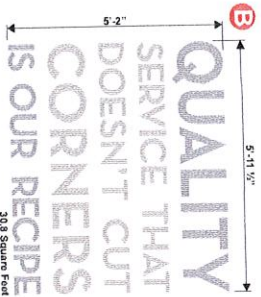
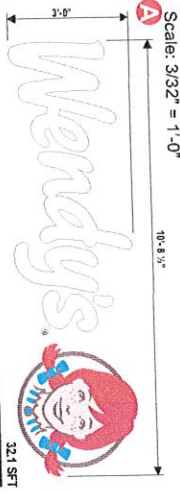
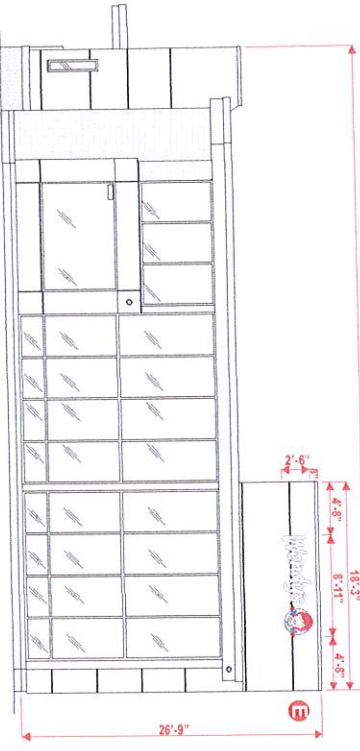
DRIVE THRU ELEVATION
Scale: 3/32" = 1'-0"



MAIN ENTRANCE ELEVATION
Scale: 3/32" = 1'-0"



FRONT ELEVATION
Scale: 3/32" = 1'-0"



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I.D. ASSOCIATES
1771 INDUSTRIAL ROAD - DOTHAN, ALABAMA - 36303
PH (888) 363-5534 - FAX (334) 836-1401
www.kassociatesinc.com

CLIENT:	WENDY'S	STORE #:	11614
LOCATION:	DANIA BEACH, FL	SCALE:	AS NOTED
ACCOUNT REP:	LORI	DRAWING #:	WENDYS-DANIA BEACH FL #11614

DRAWN BY:	Amy Burns
DATE:	10-2-15
REV #:	

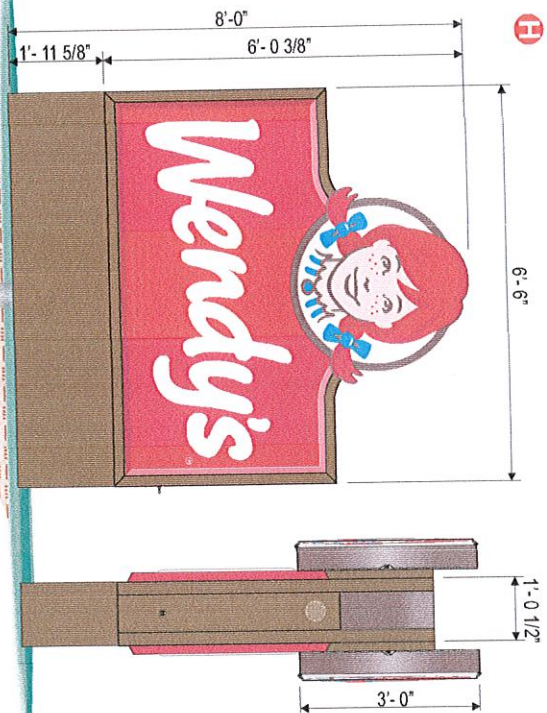


NOTE:
CONCRETE FOUNDATION
IS SITE SPECIFIC

DIR-0-ENTER

INTERNALLY ILLUMINATED DIRECTIONAL

- Double Face / 1" Retainers
- Aluminum Cabinet Construction
- Illuminated with Fluorescent H.O. Lamps
- Clear Polycarbonate Faces
- Vinyl Graphics Second Surface
- Formed ABS Plastic Decorative Pole Cover
- 4.3 Square Feet



NOTE:
CONCRETE FOUNDATION
IS SITE SPECIFIC

WM-25

INTERNALLY ILLUMINATED DOUBLE FACE MONUMENT

- 2" Retainers
- Aluminum Cabinet Construction
- Illuminated with Fluorescent H.O. Lamps / Cameo Illuminated with LEDs
- Clear Polycarbonate Painted & Embossed Faces
- Vinyl Graphics Second Surface
- Brick Base Subject to Change
- 39.2 Square Feet

ILLUMINATION DATA SHEET (BACKSHEET)	PMS 100C BLACK	PMS 800C BLACK	PMS 3015 DARK RED	PMS 800C H. LEAD	PMS 430C BROWN	WHITE
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I.D. ASSOCIATES
1771 INDUSTRIAL ROAD - DOTHAN, ALABAMA - 36303
PH (888) 383-5534 - FAX (334) 636-1401
www.klassocofesirc.com

CLIENT:	WENDY'S	STORE #:	11614
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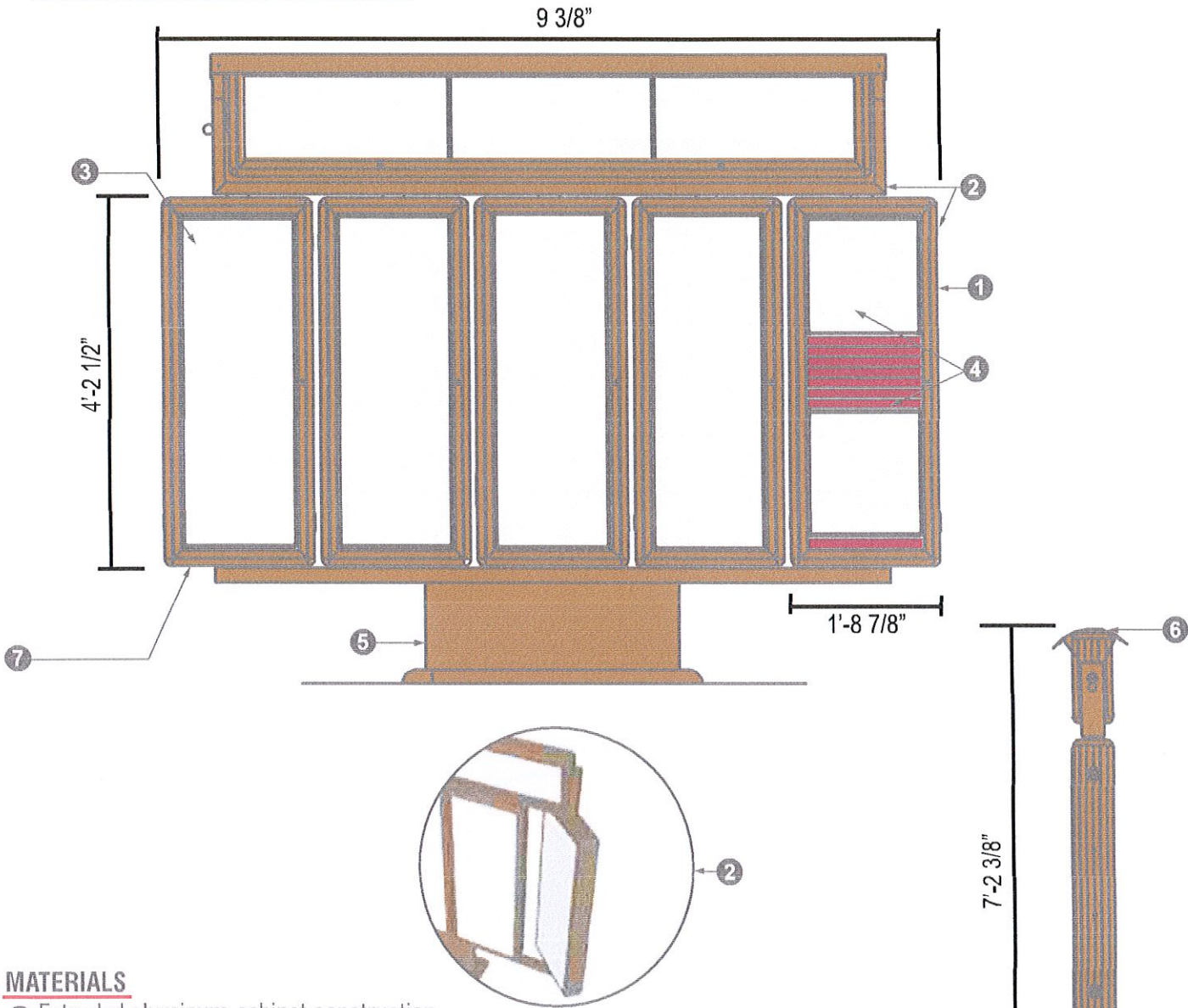
DRAWN BY:	Amy Burns
DATE:	10-2-15
REV #:	

EXTERIOR SIGNAGE REVOLUTION MENU BOARD

Page 29

EXTERIOR SIGNAGE
RM5200 NEW LOGO MENU BOARD

▶ 55.88 sq.ft. actual size



MATERIALS

- ① Extruded aluminum cabinet construction.
- ② Each panel rotates for dayparting. The new wave rotation system eliminates having to pull pins.
- ③ Hinged aluminum locking cover doors with mar-resistant polycarbonate faces.
- ④ Standard Rm5200 includes magnetic frames and carriages to match current corporate layout. Graphics provided by others. Strips and price kit additional charge. Blackout liners optional.
- ⑤ Decorative pole cover.
- ⑥ Protective rain guard - an NSS exclusive.
- ⑦ Illuminated - T12 lamps. One ballast per cabinet.

*Total electrical load = 1.2 amps. Requires 1-20 amp circuit @ 120v/60Hz.

COLORS AND FINISHES

SOFT METALLIC BROWN
(cabinets, pole cover)

*Total electrical load = 1.16 amps. Requires 1-15 amp circuit @ 120V/60Hz.

and code requirements.

Foundation specifications subject to local soil conditions

FOUNDATION REQUIREMENTS

Base plate is anchor bolted to an 18" diameter x 36" deep concrete foundation with (4) 5/8" x 16" deep J bolts.

MOUNTING

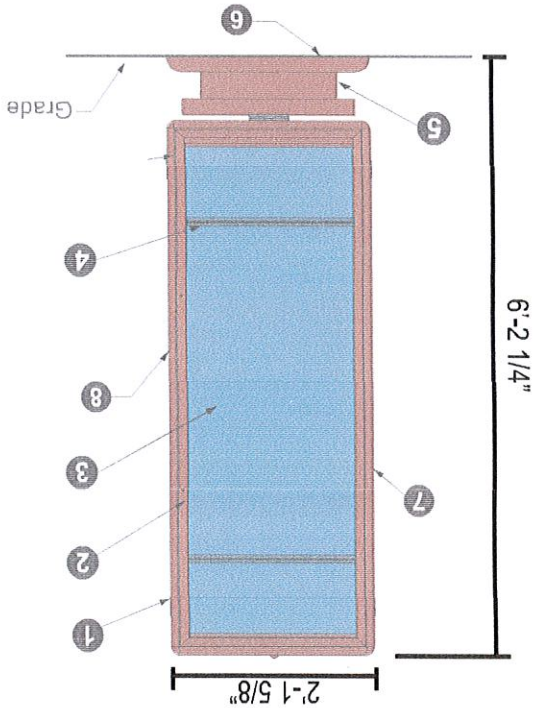
- ① Extruded aluminum cabinet construction.
- ② Side hinged extruded aluminum cover doors.
- ③ MR 10 scratch resistant cover door faces.
- ④ Versatrac magnetic trallite frames.
- ⑤ Formed ABS pole cover.
- ⑥ Bolt mounting pattern matches existing Coke preview boards
- ⑦ Illumination- T12 lamps
- ⑧ Cabinet rotates for paypart.

MATERIALS

SOFT METALLIC BROWN
(cabinets, pole cover)

COLORS AND FINISHES

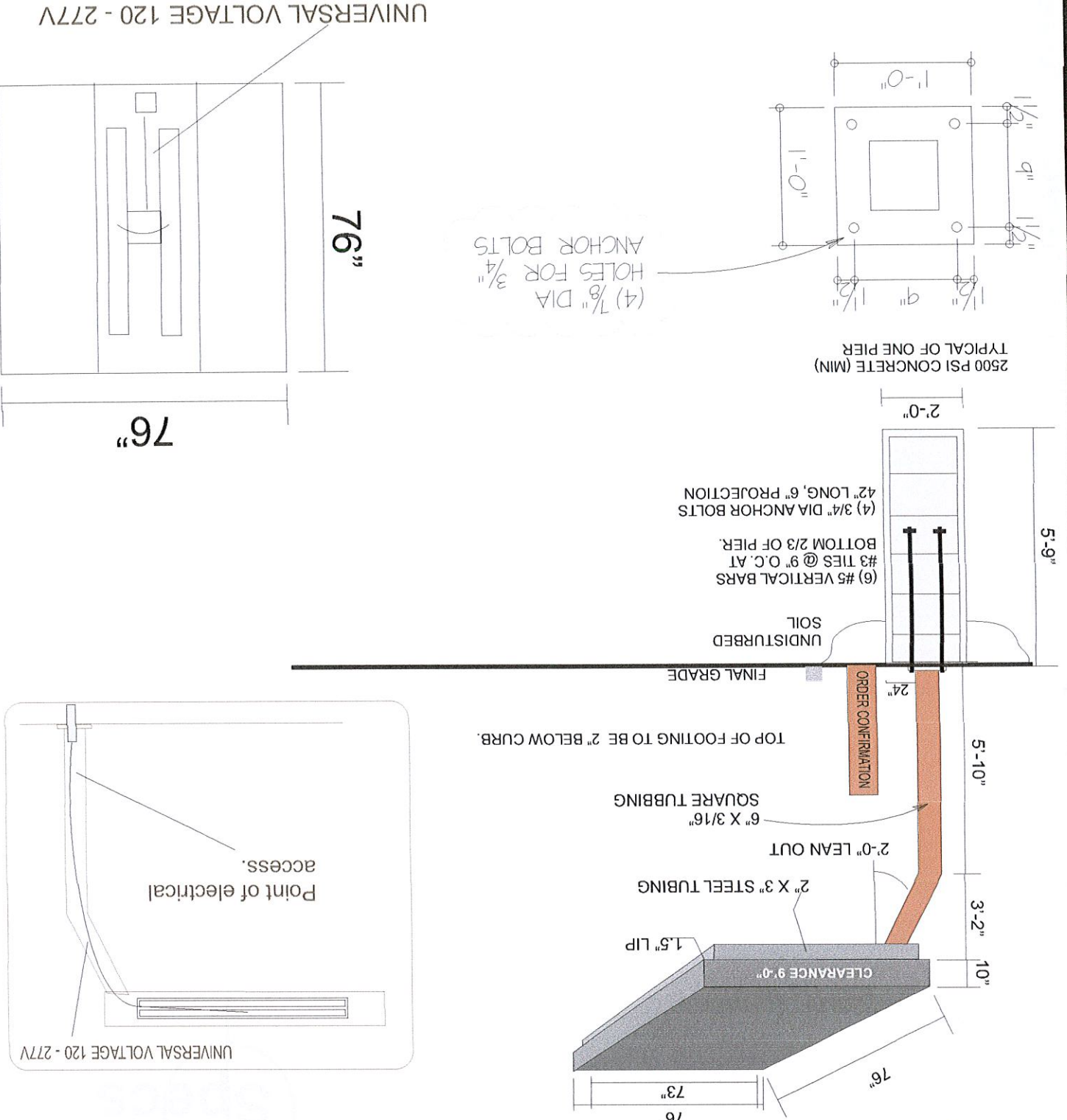
Optional removable metal
blackout liner available
if breakfast is not being
served. Will not warp or fade.



EXTERIOR SIGNAGE
RM1700 NEW LOGO MENU BOARD

▶ 13.2 sq.ft. actual size

PIVOTING CANOPY SYSTEM LAYOUT FOR STORES THAT HAVE ORDER CONFIRMATION SYSTEMS IN PLACE. PRODUCT #OSC1801U



Job #	Job:		
Client:			
City/State:			
Address:			



Department of Fire Rescue & Emergency Services
Fire Marshal's Office
Dania Beach District

103 West Dania Beach Blvd. • Dania Beach, Florida 33004
Office: (954)342-4262 • Fax: (954)342-4265

September 23, 2015

U. S. Post Office
Address Management Office
2200 NW 72 Avenue, Suite 222
Miami, FL 33152

NEW ADDRESS ASSIGNMENT – Craig McDonald, Corp. Property Services
Folio No / Property ID: 5042-28-17-0030

Dear Sir:

This referenced commercial property is currently listed as: **Ravenswood Road**, Dania Beach, in the Broward County Property Appraiser website. It is pending construction for a new Wendy's that will be facing Griffin Road. The site plan and legal description are enclosed.

The new address will be assigned as:

2071 Griffin Road, Dania Beach, FL 33312

Please do not hesitate to contact me should you have any questions concerning this correspondence.

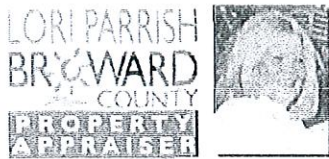
Sincerely,

Frank Ross
Fire Safety Inspector

FR:jap
Enclosures

*Not yet
Mapped
in BCPA*

Cc: City Community Development; Water Utility Billing; Business Tax-License
911Telecommunications, 115 S. Andrews Ave., Ste.325, Ft. Lauderdale, FL 33301
Holly Cimino, 115 S Andrews Avenue, Room 111, Fort Lauderdale, FL 33301
Craig@corporatepropertyservices.net – (954) 426-5144



Site Address	RAVENSWOOD ROAD, DANIA BEACH	ID #	5042 28 17 0030
Property Owner	GRIFFIN ROAD THREE LLC % NICHOLAS ECONMOS SR	Millage	0413
Mailing Address	4000 FEDERAL HWY STE 206 BOCA RATON FL 33431	Use	28
Abbreviated Legal Description	AIRPORT COMMERCE CENTER 175-38 B PORTION PARCEL A,DESC AS COMM AT NE COR PAR A,SE 373 83 TO POB CONT SE 199 17 ALG E/L,SW 42.05 SW 17.29,NW 51 42,SW 390.44,NW 107.27,SW 145.02,NW 71.33,NE 311 48,NW 50.10,NE 214.12,NW 47.46,SW 18,NW 141,NE 60,SE 188.33,NE 64.69 TO POB AKA:OFFICE PARCEL		

The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).

Property Assessment Values					
Click here to see 2014 Exemptions and Taxable Values as reflected on the Nov. 1, 2014 tax bill.					
Year	Land	Building	Just / Market Value	Assessed / SOH Value	Tax
2015	\$1,808,220	\$159,160	\$1,967,380	\$1,898,900	
2014	\$1,567,120	\$159,160	\$1,726,280	\$1,726,280	\$36,167.70
2013	\$1,808,220	\$159,160	\$1,967,380	\$1,832,770	\$39,894.23

2015 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$1,967,380	\$1,967,380	\$1,967,380	\$1,967,380
Portability	0	0	0	0
Assessed/SOH	\$1,898,900	\$1,967,380	\$1,898,900	\$1,898,900
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wld/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$1,898,900	\$1,967,380	\$1,898,900	\$1,898,900

Sales History			
Date	Type	Price	Book/Page or CIN
6/10/2008	SWD-D	\$400	45442 / 343
7/5/2006	WD*	\$7,500,000	42381 / 1525
9/19/2005	WD*	\$6,900,000	40553 / 1361

Land Calculations		
Price	Factor	Type
\$15 00	120,548	SF
Adj. Bldg. S.F. (Card, Sketch)		

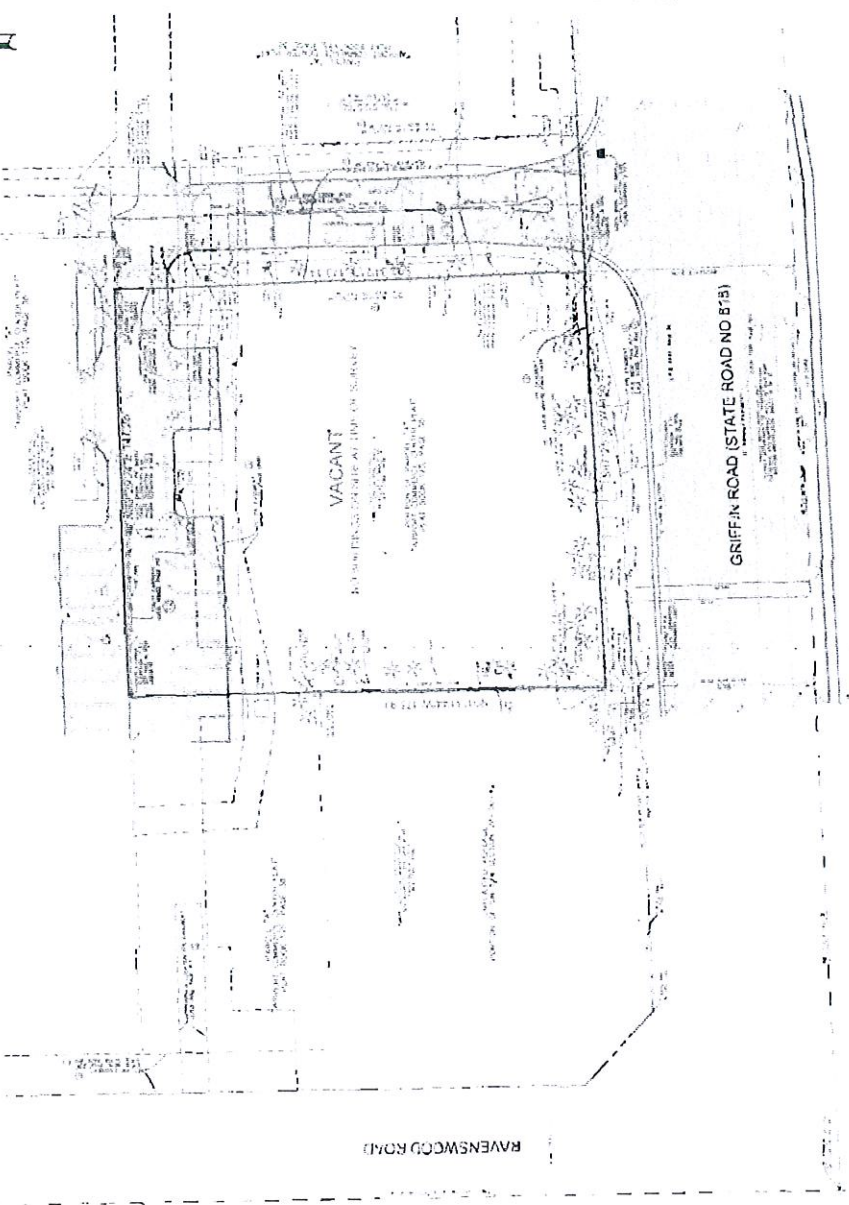
* Denotes Multi-Parcel Sale (See Deed)

Test: Click for new maps

Special Assessments								
Fire	Garb	Light	Drain	Inpr	Safe	Storm	Clean	Misc
04								
A								
277								



LOCATION MAP



VACANT

BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/ACSM LAND TITLE SURVEY

GRIFFIN ROAD (STATE ROAD NO 873)

RAVENSWOOD ROAD

TOP OF PAGE

PROPOSED MONUMENTS	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/ACSM LAND TITLE SURVEY

PLS
PULICE LAND SURVEYORS, INC.
1000 W. 10TH AVENUE
DENVER, COLORADO 80202



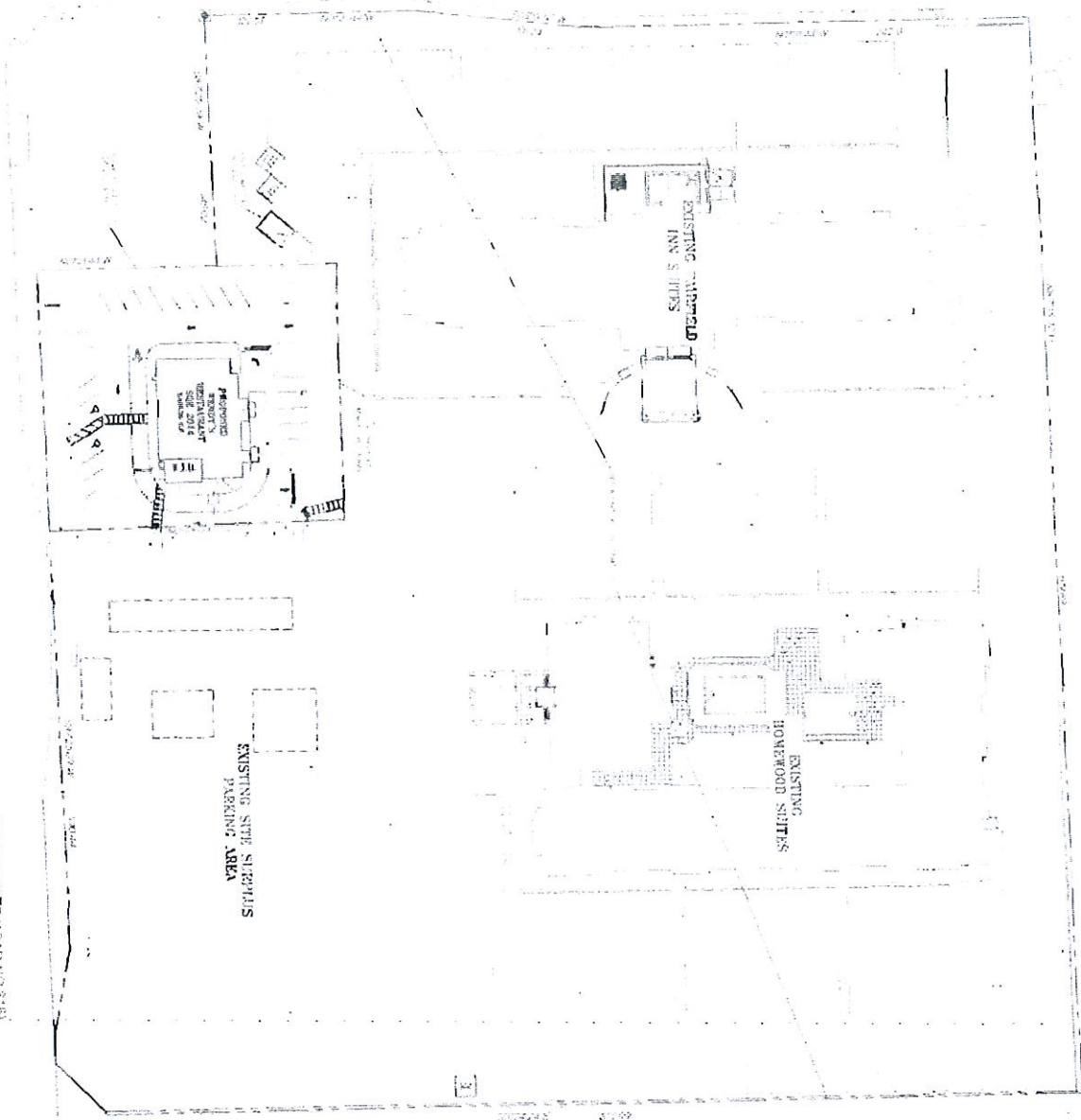
GRAPHIC SCALE

RAVENSWOOD ROAD

OVERALL SITE PLAN



CAMPBELL ROAD (STATE ROAD NO. 519)



PARKING REQUIREMENTS THIS APPLICATION

PROJECT NO.	DATE	SCALE	DRAWN BY	REVISIONS

PARKING REQUIREMENTS THIS APPLICATION

1. TOTAL NUMBER OF SPACES REQUIRED: 100

2. TOTAL NUMBER OF SPACES PROVIDED: 100

3. TYPE OF SPACES: 100

4. LOCATION OF SPACES: 100

5. OTHER COMMENTS: 100

PARKING REQUIREMENTS PROVISIONS APPROVAL

PROJECT NO.	DATE	SCALE	DRAWN BY	REVISIONS

PARKING REQUIREMENTS PROVISIONS APPROVAL

1. TOTAL NUMBER OF SPACES REQUIRED: 100

2. TOTAL NUMBER OF SPACES PROVIDED: 100

3. TYPE OF SPACES: 100

4. LOCATION OF SPACES: 100

5. OTHER COMMENTS: 100

LOCATION SHEET



PLANS ISSUE FOR SITE PLAN APPROVAL - NOT FOR CONSTRUCTION

<p>project no: scale: date: drawn by: revisions</p>	<p>WENDY BERTALLOT 2100 AVENUE ROAD DAVA BEACH, FL 32115</p>	<p>CKE GROUP INCORPORATED</p> <p>engineering • architecture • planning</p>	<p>GROUP</p>
---	--	---	--------------

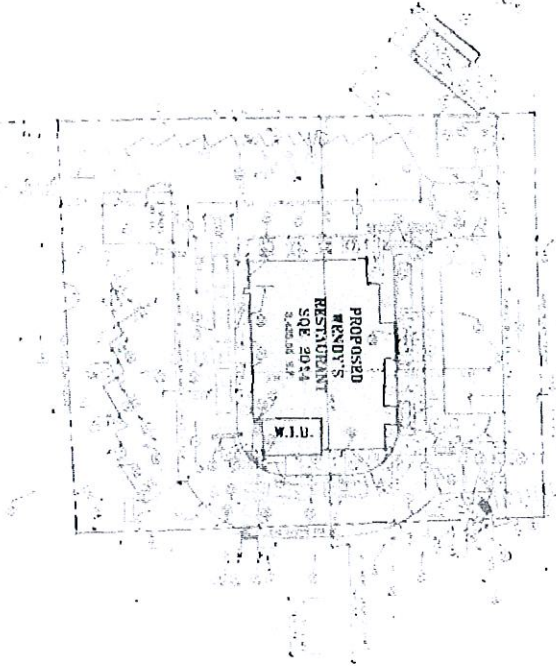
15500 NEW BARN ROAD • SUITE 100 • MIAMI LAKES, FLORIDA 33014 • (305) 558-4124

NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE FLORIDA BUILDING CODE (FBC).
 2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPLICABLE AGENCIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION FROM THE APPLICABLE UTILITIES COMPANIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EROSION CONTROL MEASURES FROM THE APPLICABLE AGENCIES.
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 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY GREEN BUILDING FROM THE APPLICABLE AGENCIES.
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 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY QUALITY FROM THE APPLICABLE AGENCIES.

SITE PLAN



GRIFFIN ROAD



PROPOSED WENDY'S RESTAURANT

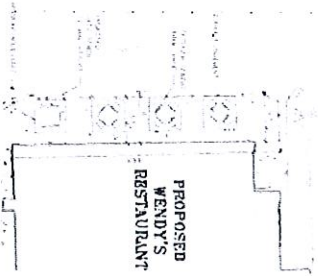
PROPOSED WENDY'S RESTAURANT



LEGAL DESCRIPTION:

LEGAL DESCRIPTION:
 THE PROPERTY IS LOCATED IN THE CITY OF MIAMI LAKES, FLORIDA, AND IS DESCRIBED AS FOLLOWS:
 ...
 ...
 ...

OUTDOOR SEATING AREA (PATIO DETAIL)



PATIO FENCE DETAIL



ZONING: Industrial, Research, Office, Marine, Heavy, Land Use, Industrial, Medium Density, Residential
SITE ANALYSIS:
 ...
 ...
 ...

LOCATION SKETCH



CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE FLORIDA BUILDING CODE (FBC).
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPLICABLE AGENCIES.
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PLANS ISSUE FOR BITE PLAN APPROVAL - NOT FOR CONSTRUCTION

<p>C-1</p>	<p>project no: 16600-108</p>		<p>PROPOSED WENDY'S RESTAURANT 2102 GRIFFIN ROAD MIAMI LAKES, FL 33155</p>		<p>GROUP</p>
	<p>scale: AS SHOWN</p> <p>date: 10/27/15</p> <p>drawn by: [signature] revisions: [signature]</p>				
<p>16600 NEW BARN ROAD • SUITE 108 • MIAMI LAKES, FLORIDA 33014 • 13081 858-4124</p>					

KBP CONSULTING, INC.

September 30, 2015

Mr. Ronnie S. Navarro, P.E.
City Engineer – Public Services Department
City of Dania Beach
100 W. Dania Beach Boulevard
Dania Beach, Florida 33004

**Re: Proposed Wendy's Restaurant – Dania Beach, Florida
Trip Generation Analysis**

Dear Mr. Navarro:

The Wendy's Company proposes to construct a fast food restaurant with drive-through lane on the north side of Griffin Road (State Road 818) just east of Anglers Avenue / Ravenswood Road in Dania Beach, Broward County, Florida. More specifically, the subject site is located at 2071 Griffin Road.

The subject site is a portion of a larger parcel that contains two existing hotels (a Fairfield Inn with 157 rooms and a Homewood Suites with 124 rooms). The proposed Wendy's site is currently vacant; however, it is approved for 64,325 square feet of office space. The purpose of this technical memorandum is to document the trip generation characteristics of the currently approved land use (i.e. office building) with those of the currently proposed land use (i.e. Wendy's Restaurant).

Trip Generation Analysis

The trip generation for this project was determined utilizing the trip generation rates and equations contained in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual (9th Edition)*. According to the subject ITE manual, the most appropriate land use categories for the subject site are Land Use #710 – General Office Building and Land Use #934 – Fast Food Restaurant with Drive-Through Window. The trip generation rates and equations used to determine the vehicle trips associated with this analysis are presented below.

ITE Land Use #710 – General Office Building

- Weekday: $\text{Ln}(T) = 0.76 \text{Ln}(X) + 3.68$
where T = number of trips and X = 1,000 square feet of gross floor area
- AM Peak: $\text{Ln}(T) = 0.80 \text{Ln}(X) + 1.57$ (88% in / 12% out)
- PM Peak: $T = 1.12 (X) + 78.45$ (17% in / 83% out)

ITE Land Use #934 – Fast-Food Restaurant with Drive-Through Window

- Weekday: $T = 496.12 (X)$
where T = number of trips and X = 1,000 square feet of gross floor area
- AM Peak: $T = 45.42 (X)$ (51% in / 49% out)
- PM Peak: $T = 32.65 (X)$ (52% in / 48% out)
- Pass-By: 49%

KBP CONSULTING, INC.

Table 1 below summarizes the trip generation characteristics associated with the approved office space and the proposed Wendy's Restaurant at the 2071 Griffin Road site in Dania Beach, Florida.

Table 1 Trip Generation Summary Proposed Wendy's (2071 Griffin Road) - Dania Beach, Florida								
Land Use	Size	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
			In	Out	Total	In	Out	Total
<i>Currently Approved</i> General Office Building	64,325 SF	939	118	16	134	26	124	150
<i>Currently Proposed</i> Fast-Food Restaurant w/ Drive-Thru - Pass-By (49%)	3,426 SF	1,700 (833)	80 (39)	76 (37)	156 (76)	58 (28)	54 (27)	112 (55)
Sub-Total		867	41	39	80	30	27	57
Difference (Proposed - Approved)		(72)	(77)	23	(54)	4	(97)	(93)

Compiled by: KBP Consulting, Inc. (September 2015).

Source: Institute of Transportation Engineers (ITE) Trip Generation Manual (9th Edition).

As indicated above, the proposed fast food restaurant with drive-through window is projected to generate 72 fewer net new daily vehicle trips, 54 fewer net new AM peak hour vehicle trips and 93 fewer net new PM peak hour vehicle trips when compared with the currently approved (but unbuilt) general office space.

Conclusions

In summary, the foregoing trip generation analysis indicates that the proposed land use (i.e. Wendy's Restaurant) will result in an overall trip generation reduction on a daily and a peak hour (AM and PM) basis when compared with the currently approved use (i.e. office) for the subject site. If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

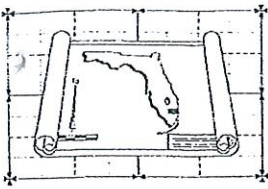
KBP CONSULTING, INC.



Karl B. Peterson, P.E.
 Florida Registration Number 49897
 KBP Consulting, Inc.
 8400 N. University Drive, Suite 309
 Tamarac, Florida 33321
 CA # 29939

8400 North University Drive, Suite 309, Tamarac, Florida 33321

Tel: (954) 560-7103 Fax: (954) 582-0989



BROWARD COUNTY PLANNING COUNCIL

115 South Andrews Avenue, Room 307 • Fort Lauderdale, Florida 33301 • Phone: 954.357.6695

November 17, 2014

Edward P. Ploski, AICP
Corporate Property Services, Inc.
1239 East Newport Center Drive, Suite 113
Deerfield Beach, Florida, 33442

Dear Mr. Ploski:

Re: Platting requirements for a parcel legally described as a portion of Parcel "A," "Airport Commerce Center Plat," according to the Plat thereof, as recorded in Plat Book 175, Page 38, of the Public Records of Broward County, Florida. This parcel is generally located on the north side of Griffin Road, between Ravenswood Road and Interstate 95, in the City of Dania Beach.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed non-residential development on the above referenced parcel.

Planning Council staff has determined that replatting is not required by Section D.2, Chapter IV, of the Broward County Land Use Plan. Section D.2. would not require replatting of parcels included in plats approved by the Broward County Commission and recorded after June 4, 1953. Information from the Broward County Records, Taxes and Treasury Division indicates that the above referenced plat was recorded on September 14, 2005.

It is recommended that you contact Broward County's Development Management and Environmental Review Section at 954-357-6637, to inquire about whether additional County review, such as a plat note modification, may be required. Further, some jurisdictions may be more restrictive and require platting in more situations than the Broward County Land Use Plan. The City of Fort Lauderdale's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the Broward County Land Use Plan, including concurrency requirements.

Edward P. Ploski, AICP

November 17, 2014

Page Two

If you have any additional questions regarding the Broward County Land Use Plan's platting requirements, please contact Matthue Goldstein, Associate Planner, at your convenience.

Respectfully,



Barbara Blake Boy
Executive Director

✓ BBB:MEG

cc: Robert Baldwin, City Manager
City of Dania Beach

Marc LaFerrier, AICP, Director, Community Development Department
City of Dania Beach



AVIATION DEPARTMENT - Fort Lauderdale/Hollywood International Airport
2200 SW 45th Street, Suite 101 • Dania Beach, Florida 33312 • 954-359-6100

October 1, 2015

Marc LaFerrier, AICP
Planning Director
City of Dania Beach
100 West Dania Beach Blvd
Dania Beach, FL 33004

**RE: Wendy's, 2071 Griffin Road, Dania Beach FL
Broward County Aviation Department (BCAD) Review**

Dear Mr. LaFerrier:

The Broward County Aviation Department (BCAD) has reviewed the proposed Wendy's development located west of Fort Lauderdale-Hollywood International Airport (FLL). Since the proposed project is within 20,000 feet of FLL, its development and operation is subject to Federal Aviation Regulation (FAR) Part 77, Florida Statutes Chapter 333 and/or the Broward County Airport Zoning Ordinance. These standards seek to ensure that any proposed construction, use of high lift equipment, such as cranes, or other potential hazards will not negatively impact the safe and efficient use of the airport and surrounding airspace. Taking into consideration the proximity of this project to FLL, BCAD is providing the following comments regarding the proposed development:

- Based on the location of the proposed project, FAR Part 77, Subpart B and Section 5-182(n)(2) of the Broward County Land Development Code, require the applicant to obtain a "Determination of No Hazard to Air Navigation" from the Federal Aviation Administration (FAA). The receipt of a favorable determination is required for all critical building points and temporary construction cranes and must be received prior to any construction activity. If you have not already done so, please use the following web address to initiate the Federal Review (FAA 7460-1) process: <https://ocaaa.faa.gov/ocaaa/external/portal.jsp>.
- Following the receipt of a favorable FAA determination, the applicant may also need to obtain "airspace obstruction permits" from the Florida Department of Transportation (FDOT). This documentation is necessary to determine if the project will adversely affect public health or safety. If required, these permits must be obtained prior to the commencement of any construction. The following web address can be used to acquire additional information pertaining to the FAA and FDOT airspace obstruction review and permitting process: <http://www.dot.state.fl.us/aviation/obstructions.shtm>.

- No building, structure or vegetation on the site may exceed 27 feet AGL as shown on the architectural elevations and site plan, unless submitted to BCAD for additional review.
- The proposed development must not generate light, glare, smoke or other emissions that could be disorienting to pilots operating in the vicinity of the airfield.
- The proposed development must not attract wildlife that would be a potential safety hazard to aircraft operations.

Adherence to these conditions is required for BCAD approval of the proposed Wendy's development, and is based on the Site Plan, C-1, dated July 31, 2015, and the Architectural Plans, Sheets A-2.1 and A-2.2 dated July 23, 2015, prepared by CKE Group Incorporated. If the proposed plans are revised substantially from those submitted for this review, BCAD requests that the revised development plans be submitted for an additional review.

This review also serves to advise to the applicant of potential aircraft over-flight and noise impacts on this property due to its proximity to the Airport. Further information regarding the current and potential impacts of airport operations on the subject property may be obtained from the Broward County Aviation Department, Airport Development Planning Division. The applicant should note that the project is not eligible for federal funding to mitigate aircraft noise.

Please do not hesitate to contact me if you have questions or require additional information at 954.359.6258.

Sincerely,



Scarlet R. Hammons, AICP
Principal Planner

cc: Michael P. Pacitto, P.G., Director Planning and Environmental



**BROWARD SHERIFF'S OFFICE
DEPARTMENT OF FIRE RESCUE AND EMERGENCY SERVICES
FIRE MARSHAL'S BUREAU
DANIA BEACH DISTRICT**
103 West Dania Beach Boulevard
Dania Beach, FL 33004
Phone: (954) 342-4262
Fax: (954) 342-4265



APPLICATION FOR APPROVAL OF THE FIRE PROTECTION WATER SUPPLY DESIGN

Date of Application: 10/8/15
 Application #: SP-080-15
 Name of Project/Development: Wendy's #11614
 Address of Project/Development: TBD 2071 Griffin Road, Dania Beach, FL, 33315
 Owner/Agent: Craig McDonald - Agent
 Design Professional of Record: Eduardo Carcache
 Water Purveyor: Broward County Water and Wastewater Services
 Water Purveyor Address: 2555 W. Copans Road, Pompano Beach, FL 33069

In order for the Broward Sheriff's Office, Department of Fire Rescue, Fire Marshal's Bureau to provide an approval letter for the adequacy of the fire protection water supply design for the above referenced project, the following information must be provided:

Affirmation of Compliance with Fire Protection Water Supply Design Requirements:

1. The Type of Construction" is V-(000) in accordance with NFPA 220.
2. The total fire protection water supply needed for manual firefighting (fire flow) and fire sprinkler/standpipe operations is 2750 gallons per minute. (In compliance with water supply requirements for manual firefighting operations in accordance NFPA 1 (2012 Ed.), Chapter 18, Section 18.4 and the Broward County Land Development Code; and the water supply necessary for fire sprinkler and standpipe operations in accordance with the currently adopted editions of NFPA 13 and NFPA 14).
3. **Statement of verification from the design professional of record, on official company letterhead, that the proposed water main sizing, fire hydrant spacing, and fire hydrant locations, are in compliance with the Broward County Land Use Code and the Florida Fire Prevention Code. (Attach signed and sealed document).**

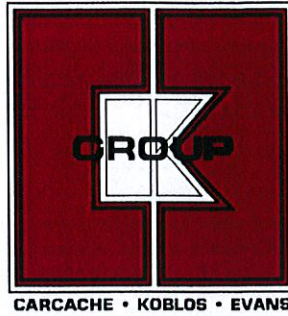
This will affirm that the above stated information and attached statement of verification for this project/development is accurate and can be relied on for the requested approval letter to the applicable water purveyor.

Craig McDonald
Signature - Owner/Agent/Occupant:

10/7/15
Date

Eduardo Carcache
Signature - Design Professional of Record

10/5/15
Date



October 6, 2015

City of Dania Beach
Community Development Department
Department of Fire Rescue and Emergency Services
Fire Marshal's Office
103 W. Dania Beach Blvd.
Dania Beach, FL, 33004

Re: Wendy's #11614
2071 Griffin Road, Dania Beach, FL, 33315
Statement of Verification

Dear Mr. Brown:

This Statement of Verification letter is to confirm, as Engineer of Record for this project, that the site for the proposed Wendy's Restaurant #11614, located at 2071 Griffin Road, Dania Beach, FL, 33315, is in compliance with the Broward County Land Use Code and the Florida Fire Prevention Code. The existing water main loop is D.I.P. 12" in diameter, the three (3) nearby fire hydrants onsite are fed from the described water main loop, are separated less than 300 ft between them and the proposed building is within a proximity radius less than 300 ft from each fire hydrant; confirming this verification of compliance.

We appreciate your assistance with this project. Please do not hesitate to contact us if you have any question regarding this certification.

Sincerely,

CKE Group, Inc.

Eduardo L. Carcache, P.E.

CKE GROUP, INC.

ENGINEERING
15500 NEW BARN ROAD

• SUITE 106

ARCHITECTURE
• MIAMI LAKES, FLORIDA 33014

• PLANNING
305-558-4124

Wendy's Restaurant at Dania Beach, FL

Water and Waste Water average day demand

	Average Day Demand Potable water		Approved Office Building		Prop. Wendy's Restaurant	
	Requirement	gpd/unit	Area	gpd	Area	gpd
Previously Approved Office Building	1000 SF of gross building area	42	64325	2701.65		
Prop. Wendy's Restaurant	1000 SF of gross building area	356			3515	1251.34
Total average day flow				2701.65		1251.34
Max Day		1.28		3458.11		1601.72
Peak hour demand		1.73		5982.53		2770.97
NET Peak hour demand						-3211.57

	Average Day Demand wastewater		Approved Office Building		Prop. Wendy's Restaurant	
	Requirement	gpd/unit	Area	gpd	Area	gpd
Previously Approved Office Building	1000 SF of gross building area	34	64325	2187.05		
Restaurant	1000 SF of gross building area	290			3515	1019.35
Total average day flow				2187.05		1019.35
NET Avg. day demand						-1167.70

CKE Group, Inc.



ST 80-15



Public Works Department
WATER AND WASTEWATER SERVICES

2555 West Copans Road, Pompano Beach, Florida . 954-831-0704 . FAX 954-831-0708

HYDRANT FLOW AND PRESSURE TEST RESULTS

FILE COPY

DATE: 10/8/15
WORK ORDER: 640716
CUSTOMER NAME: Corporate Property Services
PHONE # 954 426 5144 FAX# 954 570 3391
LOCATION: 2071 Griffin Rd

HYDRANT #1: PHR37009350 LOGGER SN# 341201
HYDRANT #2: PHR37008750 LOGGER SN# 341203
HYDRANT #3: PHR37009650 LOGGER SN# 341202

HYDRANT # 1	DATE	TIME	PRESSURE
STATIC	10/7/15	9:18:15 AM	74.921 PSI
RESIDUAL	10/7/15	9:33:10 AM	68.659 PSI

HYDRANT # 2	DATE	TIME	
FLOW	10/7/15	9:24:40 AM	1274.6 GPM
PRESSURE	10/7/15	9:24:40 AM	72.927 PSI

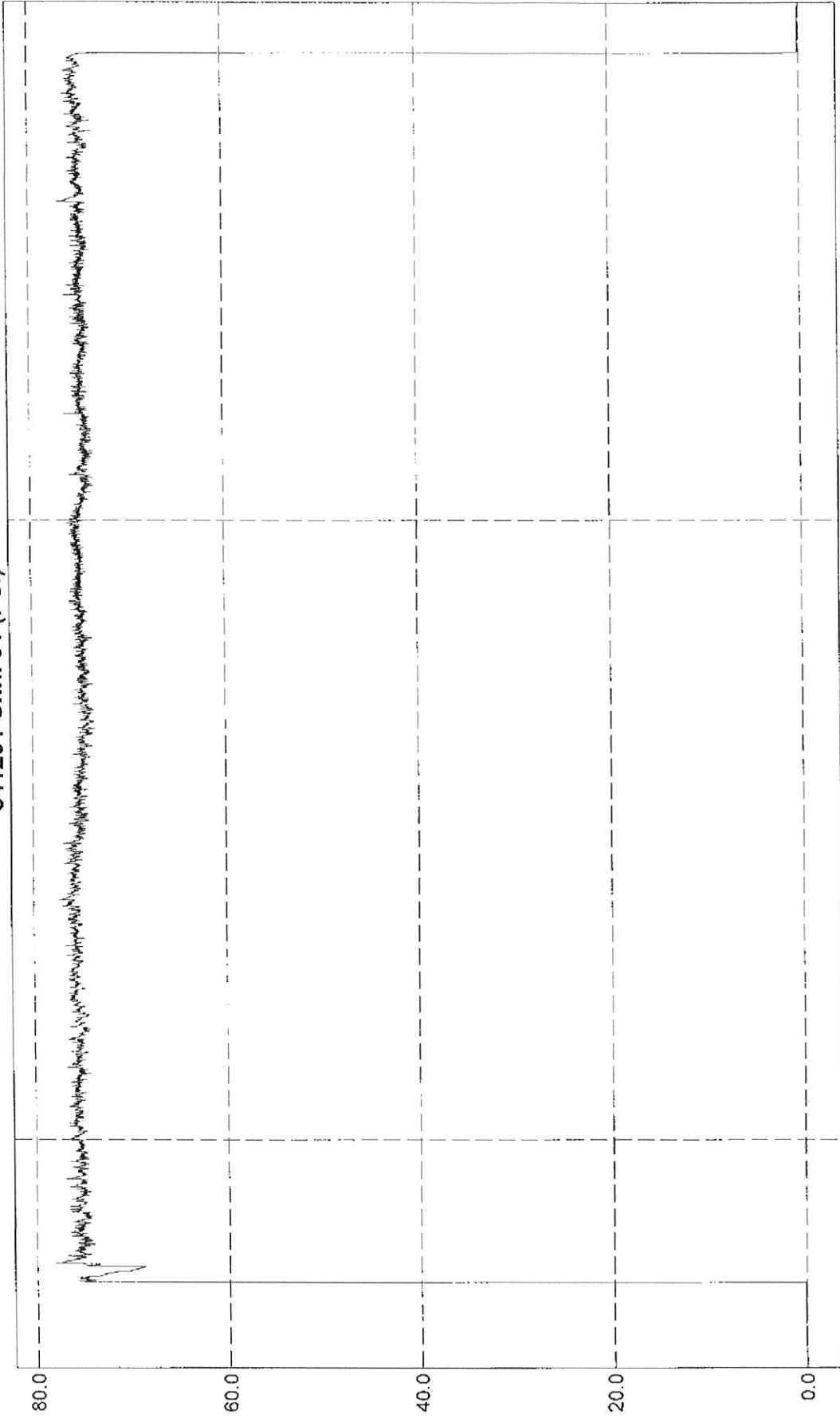
HYDRANT # 3	DATE	TIME	
FLOW	10/7/15	9:30:30 AM	1292.3 GPM
PRESSURE	10/7/15	9:30:30 AM	69.501 PSI

Flow calculated with a discharge coefficient of .90

EQUIPMENT USED:

TELOGER model HPR-31 SN# 341201
TELOGER model HPR-31 SN# 341202
TELOGER model HPR-31 SN# 341203
POLLARD DIFFUSER 2.5 in

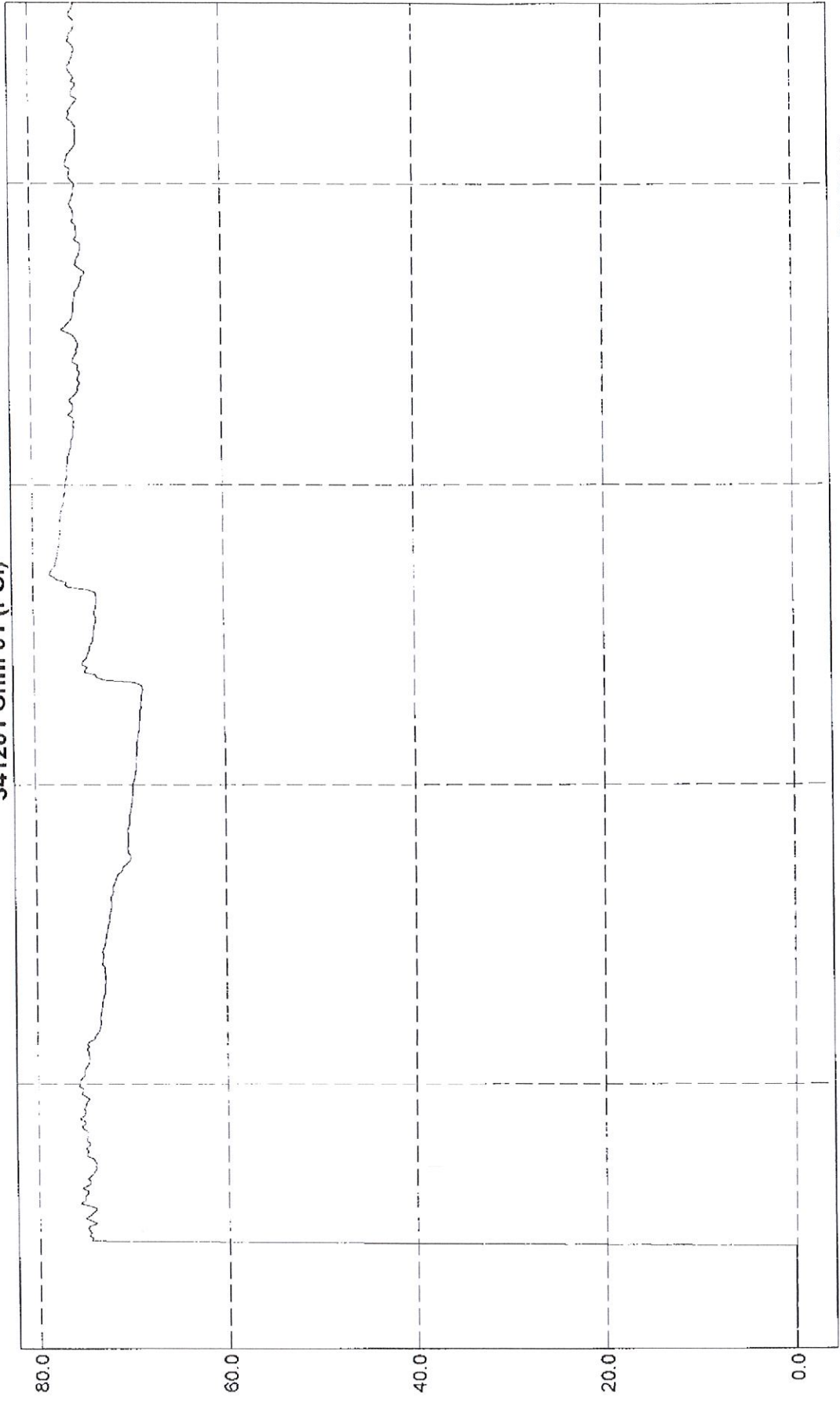
341201 Chnl 01 (PSI)



12:00:00 AM
10/8/2015

12:00:00 PM
10/7/2015

341201 Chnl 01 (PSI)



9:20:00 AM
10/7/2015

9:30:00 AM
10/7/2015

9:40:00 AM
10/7/2015

9:50:00 AM
10/7/2015

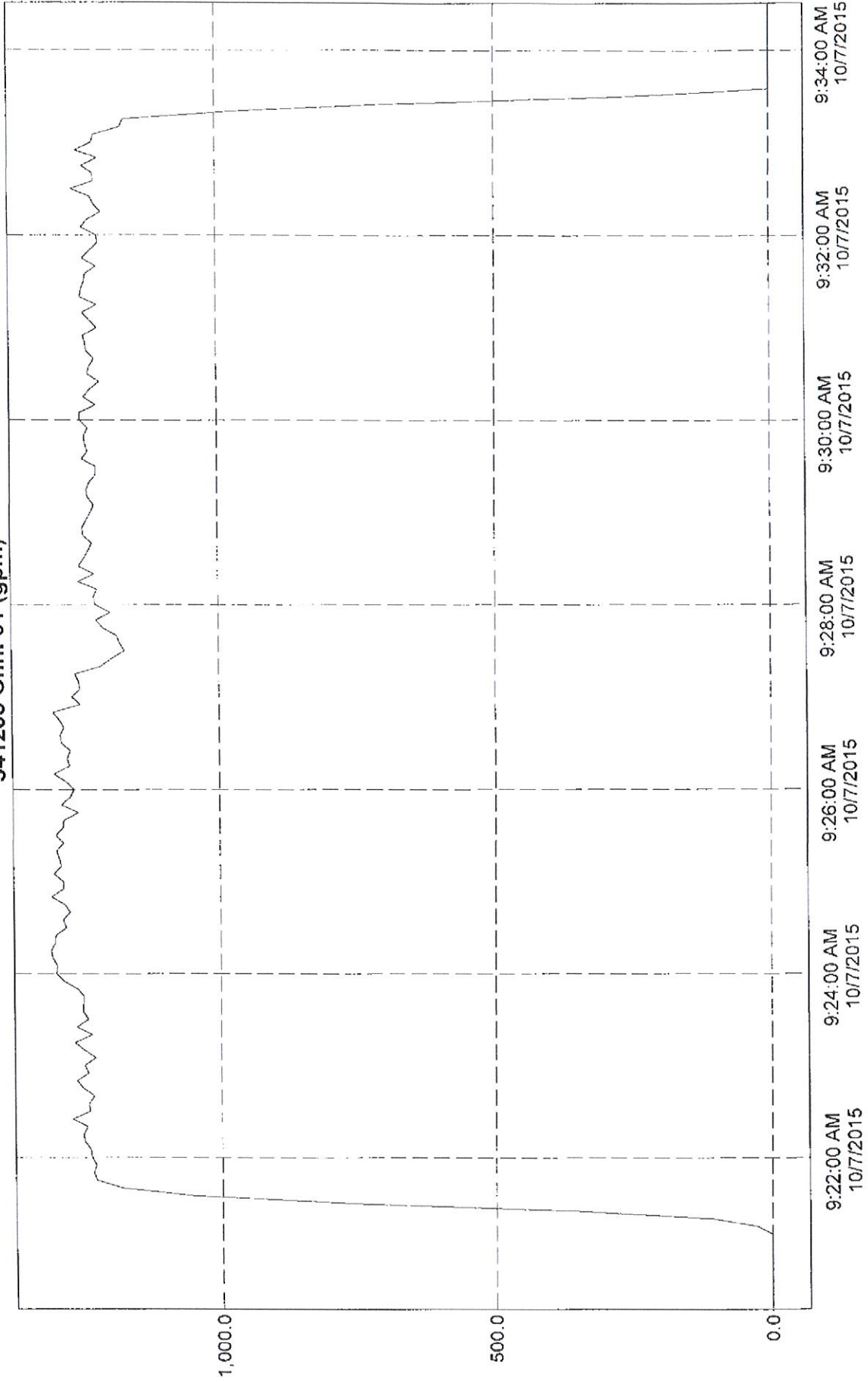
Channel Plot 1:

	Time	341201 Chnl 01 Avg
1218	10/7/2015 9:16:45 AM	74.75336
1219	10/7/2015 9:16:50 AM	75.0061
1220	10/7/2015 9:16:55 AM	74.72527
1221	10/7/2015 9:17:00 AM	74.41636
1222	10/7/2015 9:17:05 AM	74.24786
1223	10/7/2015 9:17:10 AM	74.07937
1224	10/7/2015 9:17:15 AM	74.16361
1225	10/7/2015 9:17:20 AM	74.07937
1226	10/7/2015 9:17:25 AM	74.24786
1227	10/7/2015 9:17:30 AM	74.38828
1228	10/7/2015 9:17:35 AM	75.06227
1229	10/7/2015 9:17:40 AM	75.03419
1230	10/7/2015 9:17:45 AM	74.89378
1231	10/7/2015 9:17:50 AM	75.11844
1232	10/7/2015 9:17:55 AM	74.92186
1233	10/7/2015 9:18:00 AM	74.66911
1234	10/7/2015 9:18:05 AM	75.0061
1235	10/7/2015 9:18:10 AM	75.09035
1236	10/7/2015 9:18:15 AM	74.92186
1237	10/7/2015 9:18:20 AM	74.92186
1238	10/7/2015 9:18:25 AM	74.97802
1239	10/7/2015 9:18:30 AM	75.39927
1240	10/7/2015 9:18:35 AM	75.56776
1241	10/7/2015 9:18:40 AM	75.17461
1242	10/7/2015 9:18:45 AM	75.17461
1243	10/7/2015 9:18:50 AM	75.76435
1244	10/7/2015 9:18:55 AM	75.31502
1245	10/7/2015 9:19:00 AM	75.25885
1246	10/7/2015 9:19:05 AM	75.11844
1247	10/7/2015 9:19:10 AM	75.3431
1248	10/7/2015 9:19:15 AM	75.11844
1249	10/7/2015 9:19:20 AM	75.09035
1250	10/7/2015 9:19:25 AM	74.94994
1251	10/7/2015 9:19:30 AM	74.72527
1252	10/7/2015 9:19:35 AM	75.11844
1253	10/7/2015 9:19:40 AM	75.56776
1254	10/7/2015 9:19:45 AM	75.31502
1255	10/7/2015 9:19:50 AM	75.31502

Channel Plot 1:

	Time	341201 Chnl 01 Avg
1397	10/7/2015 9:31:40 AM	69.221
1398	10/7/2015 9:31:45 AM	69.13675
1399	10/7/2015 9:31:50 AM	69.05251
1400	10/7/2015 9:31:55 AM	69.05251
1401	10/7/2015 9:32:00 AM	69.05251
1402	10/7/2015 9:32:05 AM	69.02442
1403	10/7/2015 9:32:10 AM	68.96825
1404	10/7/2015 9:32:15 AM	68.91209
1405	10/7/2015 9:32:20 AM	68.91209
1406	10/7/2015 9:32:25 AM	68.91209
1407	10/7/2015 9:32:30 AM	68.91209
1408	10/7/2015 9:32:35 AM	68.79976
1409	10/7/2015 9:32:40 AM	68.884
1410	10/7/2015 9:32:45 AM	68.85592
1411	10/7/2015 9:32:50 AM	68.79976
1412	10/7/2015 9:32:55 AM	68.79976
1413	10/7/2015 9:33:00 AM	68.74359
1414	10/7/2015 9:33:05 AM	68.71551
1415	10/7/2015 9:33:10 AM	68.65934
1416	10/7/2015 9:33:15 AM	68.68742
1417	10/7/2015 9:33:20 AM	68.85592
1418	10/7/2015 9:33:25 AM	69.69841
1419	10/7/2015 9:33:30 AM	72.67522
1420	10/7/2015 9:33:35 AM	73.57387
1421	10/7/2015 9:33:40 AM	73.71429
1422	10/7/2015 9:33:45 AM	74.83761
1423	10/7/2015 9:33:50 AM	74.75336
1424	10/7/2015 9:33:55 AM	74.52869
1425	10/7/2015 9:34:00 AM	75.09035
1426	10/7/2015 9:34:05 AM	75.03419
1427	10/7/2015 9:34:10 AM	74.78144
1428	10/7/2015 9:34:15 AM	74.58486
1429	10/7/2015 9:34:20 AM	74.52869
1430	10/7/2015 9:34:25 AM	74.41636
1431	10/7/2015 9:34:30 AM	74.30403
1432	10/7/2015 9:34:35 AM	74.30403
1433	10/7/2015 9:34:40 AM	74.1917

341203 Chnl 01 (gpm)



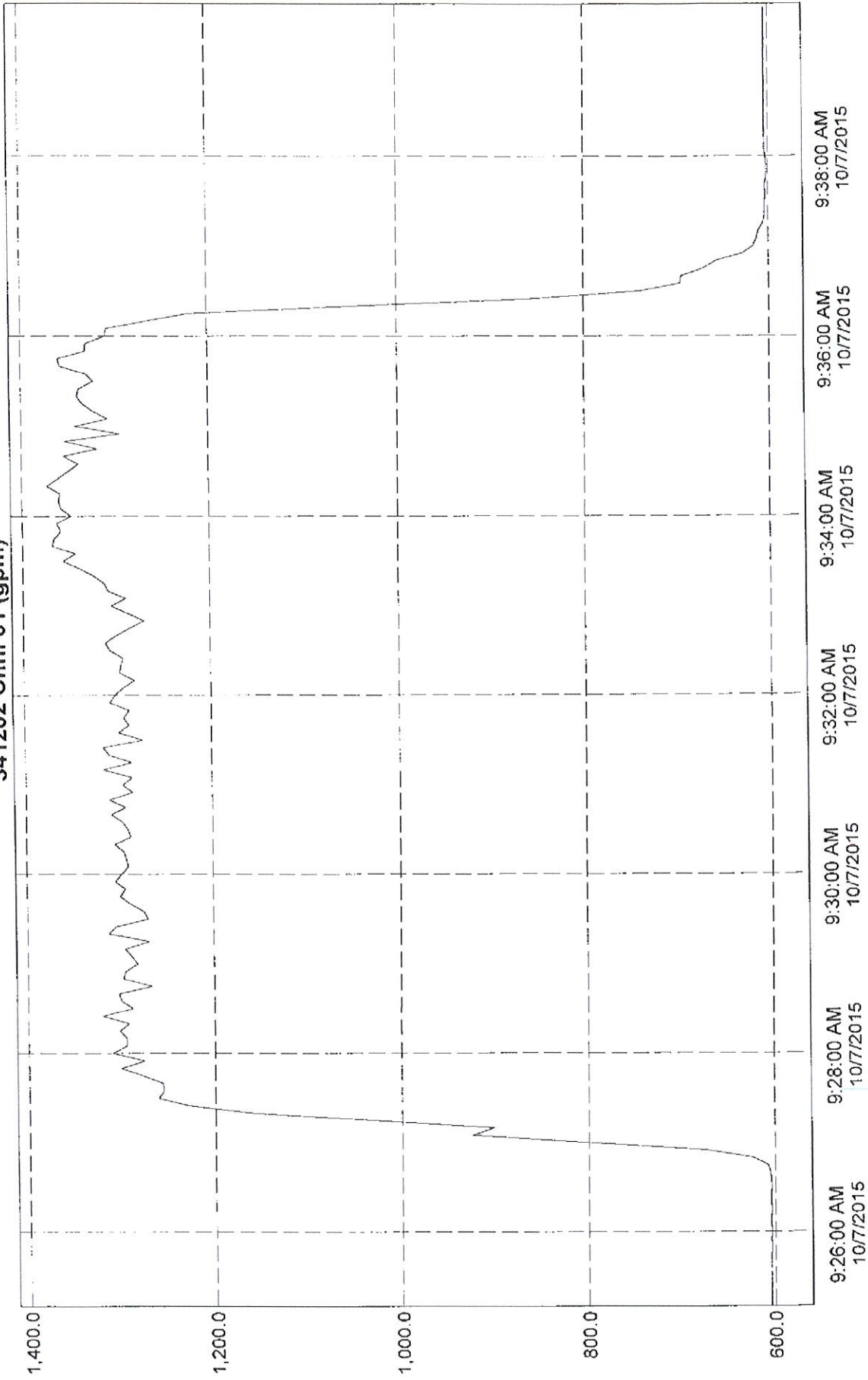
Channel Plot 1:

	Time	341203 Chnl 01 Flow Rate	341203 Chnl 01 Flow Total
1305	10/7/2015 9:23:00 AM	1,251.2	1,964.2
1306	10/7/2015 9:23:05 AM	1,230.1	2,066.7
1307	10/7/2015 9:23:10 AM	1,251.5	2,171.0
1308	10/7/2015 9:23:15 AM	1,268.4	2,276.7
1309	10/7/2015 9:23:20 AM	1,236.2	2,379.7
1310	10/7/2015 9:23:25 AM	1,265.0	2,485.1
1311	10/7/2015 9:23:30 AM	1,243.6	2,588.7
1312	10/7/2015 9:23:35 AM	1,252.4	2,693.1
1313	10/7/2015 9:23:40 AM	1,251.8	2,797.4
1314	10/7/2015 9:23:45 AM	1,250.9	2,901.7
1315	10/7/2015 9:23:50 AM	1,262.5	3,006.9
1316	10/7/2015 9:23:55 AM	1,285.5	3,114.0
1317	10/7/2015 9:24:00 AM	1,299.8	3,222.3
1318	10/7/2015 9:24:05 AM	1,297.4	3,330.4
1319	10/7/2015 9:24:10 AM	1,305.6	3,439.2
1320	10/7/2015 9:24:15 AM	1,308.6	3,548.3
1321	10/7/2015 9:24:20 AM	1,301.0	3,656.7
1322	10/7/2015 9:24:25 AM	1,300.1	3,765.0
1323	10/7/2015 9:24:30 AM	1,280.5	3,871.8
1324	10/7/2015 9:24:35 AM	1,286.7	3,979.0
1325	10/7/2015 9:24:40 AM	1,274.6	4,085.2
1326	10/7/2015 9:24:45 AM	1,282.7	4,192.1
1327	10/7/2015 9:24:50 AM	1,307.1	4,301.0
1328	10/7/2015 9:24:55 AM	1,286.1	4,408.2
1329	10/7/2015 9:25:00 AM	1,285.5	4,515.3
1330	10/7/2015 9:25:05 AM	1,302.9	4,623.9
1331	10/7/2015 9:25:10 AM	1,288.8	4,731.3
1332	10/7/2015 9:25:15 AM	1,292.2	4,839.0
1333	10/7/2015 9:25:20 AM	1,297.4	4,947.1
1334	10/7/2015 9:25:25 AM	1,284.2	5,054.1
1335	10/7/2015 9:25:30 AM	1,298.9	5,162.3
1336	10/7/2015 9:25:35 AM	1,286.1	5,269.5
1337	10/7/2015 9:25:40 AM	1,284.5	5,376.6
1338	10/7/2015 9:25:45 AM	1,258.4	5,481.4
1339	10/7/2015 9:25:50 AM	1,288.5	5,588.8
1340	10/7/2015 9:25:55 AM	1,272.8	5,694.9
1341	10/7/2015 9:26:00 AM	1,265.9	5,800.4

Channel Plot 1:

	Time	341201 Chnl 01 Avg
1293	10/7/2015 9:23:00 AM	73.01221
1294	10/7/2015 9:23:05 AM	72.92796
1295	10/7/2015 9:23:10 AM	72.95605
1296	10/7/2015 9:23:15 AM	72.95605
1297	10/7/2015 9:23:20 AM	72.92796
1298	10/7/2015 9:23:25 AM	72.84371
1299	10/7/2015 9:23:30 AM	72.89988
1300	10/7/2015 9:23:35 AM	72.89988
1301	10/7/2015 9:23:40 AM	72.89988
1302	10/7/2015 9:23:45 AM	72.98413
1303	10/7/2015 9:23:50 AM	72.95605
1304	10/7/2015 9:23:55 AM	72.98413
1305	10/7/2015 9:24:00 AM	73.26496
1306	10/7/2015 9:24:05 AM	73.15263
1307	10/7/2015 9:24:10 AM	73.18071
1308	10/7/2015 9:24:15 AM	73.09646
1309	10/7/2015 9:24:20 AM	73.09646
1310	10/7/2015 9:24:25 AM	73.23688
1311	10/7/2015 9:24:30 AM	73.12454
1312	10/7/2015 9:24:35 AM	73.04029
1313	10/7/2015 9:24:40 AM	72.92796
1314	10/7/2015 9:24:45 AM	72.8718
1315	10/7/2015 9:24:50 AM	72.8718
1316	10/7/2015 9:24:55 AM	72.78754
1317	10/7/2015 9:25:00 AM	72.78754
1318	10/7/2015 9:25:05 AM	72.67522
1319	10/7/2015 9:25:10 AM	72.61905
1320	10/7/2015 9:25:15 AM	72.56288
1321	10/7/2015 9:25:20 AM	72.50671
1322	10/7/2015 9:25:25 AM	72.42247
1323	10/7/2015 9:25:30 AM	72.42247
1324	10/7/2015 9:25:35 AM	72.39439
1325	10/7/2015 9:25:40 AM	72.3663
1326	10/7/2015 9:25:45 AM	72.31013
1327	10/7/2015 9:25:50 AM	72.22588
1328	10/7/2015 9:25:55 AM	72.16972
1329	10/7/2015 9:26:00 AM	72.16972

341202 Chnl 01 (gpm)



Channel Plot 1:

	Time	341202 Chnl 01 Flow Rate	341202 Chnl 01 Flow Total
1355	10/7/2015 9:29:00 AM	1,283.5	69,421.2
1356	10/7/2015 9:29:05 AM	1,289.6	69,528.6
1357	10/7/2015 9:29:10 AM	1,296.8	69,636.7
1358	10/7/2015 9:29:15 AM	1,269.8	69,742.5
1359	10/7/2015 9:29:20 AM	1,314.2	69,852.0
1360	10/7/2015 9:29:25 AM	1,306.3	69,960.9
1361	10/7/2015 9:29:30 AM	1,270.8	70,066.8
1362	10/7/2015 9:29:35 AM	1,275.4	70,173.1
1363	10/7/2015 9:29:40 AM	1,290.2	70,280.6
1364	10/7/2015 9:29:45 AM	1,301.6	70,389.0
1365	10/7/2015 9:29:50 AM	1,296.0	70,497.0
1366	10/7/2015 9:29:55 AM	1,306.6	70,605.9
1367	10/7/2015 9:30:00 AM	1,300.0	70,714.3
1368	10/7/2015 9:30:05 AM	1,292.3	70,822.0
1369	10/7/2015 9:30:10 AM	1,294.2	70,929.8
1370	10/7/2015 9:30:15 AM	1,296.8	71,037.9
1371	10/7/2015 9:30:20 AM	1,306.6	71,146.8
1372	10/7/2015 9:30:25 AM	1,289.4	71,254.2
1373	10/7/2015 9:30:30 AM	1,292.3	71,361.9
1374	10/7/2015 9:30:35 AM	1,298.1	71,470.1
1375	10/7/2015 9:30:40 AM	1,309.7	71,579.2
1376	10/7/2015 9:30:45 AM	1,294.7	71,687.1
1377	10/7/2015 9:30:50 AM	1,311.6	71,796.4
1378	10/7/2015 9:30:55 AM	1,286.7	71,903.6
1379	10/7/2015 9:31:00 AM	1,297.3	72,011.7
1380	10/7/2015 9:31:05 AM	1,287.0	72,119.0
1381	10/7/2015 9:31:10 AM	1,318.1	72,228.8
1382	10/7/2015 9:31:15 AM	1,287.0	72,336.1
1383	10/7/2015 9:31:20 AM	1,311.6	72,445.4
1384	10/7/2015 9:31:25 AM	1,318.1	72,555.2
1385	10/7/2015 9:31:30 AM	1,274.9	72,661.5
1386	10/7/2015 9:31:35 AM	1,301.0	72,769.9
1387	10/7/2015 9:31:40 AM	1,289.9	72,877.4
1388	10/7/2015 9:31:45 AM	1,295.5	72,985.3
1389	10/7/2015 9:31:50 AM	1,289.4	73,092.8
1390	10/7/2015 9:31:55 AM	1,309.7	73,201.9
1391	10/7/2015 9:32:00 AM	1,304.5	73,310.6

Channel Plot 1:

	Time	341201 Chnl 01 Avg
1365	10/7/2015 9:29:00 AM	70.23199
1366	10/7/2015 9:29:05 AM	70.14774
1367	10/7/2015 9:29:10 AM	70.06349
1368	10/7/2015 9:29:15 AM	70.03541
1369	10/7/2015 9:29:20 AM	69.97924
1370	10/7/2015 9:29:25 AM	69.97924
1371	10/7/2015 9:29:30 AM	69.92308
1372	10/7/2015 9:29:35 AM	69.895
1373	10/7/2015 9:29:40 AM	69.86691
1374	10/7/2015 9:29:45 AM	69.895
1375	10/7/2015 9:29:50 AM	69.83883
1376	10/7/2015 9:29:55 AM	69.86691
1377	10/7/2015 9:30:00 AM	69.895
1378	10/7/2015 9:30:05 AM	69.81075
1379	10/7/2015 9:30:10 AM	69.69841
1380	10/7/2015 9:30:15 AM	69.61417
1381	10/7/2015 9:30:20 AM	69.61417
1382	10/7/2015 9:30:25 AM	69.52991
1383	10/7/2015 9:30:30 AM	69.50183
1384	10/7/2015 9:30:35 AM	69.50183
1385	10/7/2015 9:30:40 AM	69.44566
1386	10/7/2015 9:30:45 AM	69.41758
1387	10/7/2015 9:30:50 AM	69.41758
1388	10/7/2015 9:30:55 AM	69.41758
1389	10/7/2015 9:31:00 AM	69.3895
1390	10/7/2015 9:31:05 AM	69.41758
1391	10/7/2015 9:31:10 AM	69.36142
1392	10/7/2015 9:31:15 AM	69.33334
1393	10/7/2015 9:31:20 AM	69.36142
1394	10/7/2015 9:31:25 AM	69.36142
1395	10/7/2015 9:31:30 AM	69.27717
1396	10/7/2015 9:31:35 AM	69.221
1397	10/7/2015 9:31:40 AM	69.221
1398	10/7/2015 9:31:45 AM	69.13675
1399	10/7/2015 9:31:50 AM	69.05251
1400	10/7/2015 9:31:55 AM	69.05251
1401	10/7/2015 9:32:00 AM	69.05251



City of Dania Beach, Florida
Department of Community Development
Planning and Zoning Division
(954) 924-6805 X3643
(954) 922-2687 Fax

Standard Development Application

RECEIVED
AUG 03 2015
Planning Department

- Administrative Variance
- Land Use Amendment
- Plat
- Rezoning
- Site Plan
- Special Exception
- Variance
- Other: _____

Date Rec'd: _____
Petition No.: SP-080-15

(SEE APPLICATION TYPE SCHEDULE ON PAGES 3 & 4)

THIS APPLICATION WILL NOT BE ACCEPTED UNTIL IT IS COMPLETE AND SUBMITTED WITH ALL NECESSARY DOCUMENTS. Refer to the application type at the top of this form and "Required Documentation" checklist to determine the supplemental documents required with each application. For after the fact applications, the responsible contractor of record shall be present at the board hearing. Their failure to attend may impact upon the disposition of your application. As always, the applicant or their authorized legal agent must be present at all meetings. All projects must also obtain a building permit from the City Building Division. For more information please reference the **Dania Beach Land Development Code Part 6, Development Review Procedures and Requirements.**

Location Address: 2071 Griffin Road

Lot(s): _____ Block: _____ Subdivision: _____

Recorded Plat Name: Airport Commerce Center Plat

Folio Number(s): 5042 28 17 0030 Legal Description: See Attached Exhibit "A"

Applicant/Consultant/Legal Representative (circle one) Corporate Property Services, Inc. - Agent

Address of Applicant: 1239 East Newport Center Drive - Suite 113 Deerfield Beach, FL 33442

Business Telephone: 954-426-5144 Home: _____ Fax: 954-570-3391

E-mail address: craig@corporatepropertyservices.net

Name of Property Owner: Griffin Road Three LLC %Nicholas Econmos Sr.

Address of Property Owner: 400 Federal Highway, Suite 206 Boca Raton, FL 33431

Business Telephone: 561-361-2586 Home: _____ Fax: 561-361-3945

Explanation of Request: Site Plan Approval for a 3,426 s.f. Wendy's Restaurant with a Drive-thru
For Plats please provide proposed Plat Name for Variances please attach Criteria Statement as per Section 625.40 of the Land Development Code.

Prop. Net Acreage: 25,976 s.f. Gross Acreage: 37,673 s. Prop. Square Footage: 3,425.55 s.f.

Existing Use: Vacant/Parking Lot Proposed Use: Wendy's Restaurant with a Drive-Thru

Is property owned individually, by a corporation, association, or a joint venture? Corporation

AUTHORIZED REPRESENTATIVE

I/we are fully aware of the request being made to the City of Dania Beach. If I/We are unable to be present, I/we hereby authorize Corporate Property Services, Inc. (individual/firm) to represent me/us in all matters related to this application. I/we hereby acknowledge that the applicable fee was established to offset administrative costs and is not refundable.

I/we are fully aware that all approvals automatically expire within 12 months of City of Dania Beach Planning and Zoning Board or City Commission approval, or pursuant to the expiration timeframe listed in Part 6 of the Dania Beach Land Development Code.

STATE OF FLORIDA
COUNTY OF BROWARD
The foregoing instrument
was acknowledged

By: [Signature]
(Owner / Agent signature*)

BEFORE ME THIS 5 DAY OF August, 20 15

By: Craig McDonald
(Print name of person acknowledging)

(Joint owner signature if applicable)

Notary [Signature]
(Signature of Notary Public – State of Florida)



Personally known Y or Produced Identification _____

Type of identification produced: _____ or Drivers License _____

***If joint ownership, both parties must sign. If partnership, corporation or association, an authorized officer must sign on behalf of the group. A notarized letter of authorization from the owner of record must accompany the application if an authorized agent signs for the owner(s).**

NO APPLICATION WILL BE AUTOMATICALLY SCHEDULED FOR A MEETING.

ALL APPLICATIONS MUST BE DETERMINED COMPLETE BY STAFF BEFORE PROCESSING OCCURS.

**City of Dania Beach
APPLICATION TYPE AND FEE SCHEDULE**

INCOMPLETE SUBMITTALS ARE NOT ACCEPTABLE FOR REVIEW AND PROCESSING.

The following fees shall apply to all applications for land use plan amendments, rezoning, special exception use, variances, site plans and other zoning related applications. These fees are used to defray staff cost in the evaluation of the proposal made and provide for the required notices and public advertisements according to Florida State Statute and the Dania Beach Land Development Code. Should any applicant have more than one type of request to the City, the applications involved should be submitted at the same time. The present City policy is to have concurrent reviews being processed before the final review and actions by the Planning and Zoning Board and/or City Commission. It is the obligation of all applicants to review the appropriate City Codes and design standards related to their proposal before making any application to the City. The standard review process for all development applications are two (2) review cycles. **Any additional review or public notice required by staff or professional consultants due to the incorrect interpretation of the Land Development Code will be charged to the applicant as per "Section 685-10 Cost Recovery for Development Review" of the Dania Beach Land Development Code.**

APPLICATION TYPE	FEE
LAND USE	
Assignment of Flex Units or Acreage	Filing fee = \$4,000.00 plus \$5.00 per flex, reserve or LAC/RAC unit or hotel room or \$100 per acre or portion of such area <i>Includes Staff processing, 2 review cycles, advertising and notice costs</i>
Change of Land Use	Filing fee = \$7,000.00, plus \$500.00 per acre or portion of area <i>Includes Staff processing, 2 review cycles, advertising and notice costs</i>
ZONING	
Change of Zoning (Rezoning)	Less than 2 acres - \$2,500.00 Greater than 2 acres - \$6,000.00 <i>Includes Staff processing, 2 review cycles, advertising and notice costs</i>
Zoning Code Text Change	Changing the list of Permitted Uses - \$6,000.00 General Text - \$2,000.00 <i>Includes Staff processing, 2 review cycles, advertising and notice costs</i>
PLAT	(Perimeter) Filing fee = \$2550.00 plus \$50.00 per acre or portion of such area (Subdivision) Filing fee = \$2550.00 plus \$100 per acre or portion of such area <i>Includes Staff processing, 2 review cycles, advertising and notice costs</i>
Delegation Request	\$1,500.00 <i>Includes Staff processing, 2 review cycles, advertising and notice costs</i>
SITE PLAN	
Residential, Hotel, Condo-Hotel, Time-Share, Motel	Filing fee = \$1,000.00 PLUS \$10.00 per unit Plus retainer for staff/consultant review, administrative and notice cost \$5,000.00 Minimum fee = \$6,100.00 <i>Includes Staff processing, 2 review cycles, advertising and notice costs</i>
All other uses	Filing fee = \$1,000.00 PLUS the following: \$5.00 : 100 s.f. for 1 st 10,000 s.f., \$2.00 : 100 s.f. in excess of 10,000 s.f Plus retainer for staff/consultant review, administrative and notice cost \$4,000.00 Minimum fee = \$5,500.00 <i>Includes Staff processing, 2 review cycles, advertising and notice costs</i>
Site Plan Revisions	\$2,500.00 - <i>Includes staff processing and up to 2 review cycles.</i> <i>Additional variances associated with any revision to a site plan are charged according to the associated variance type.</i>
Extension of Approval(s) (Site plan, variance, special exception requests)	\$1,250.00 – Single Extension (PLUS) an additional \$ 250.00 for each associated approval

**City of Dania Beach
APPLICATION TYPE AND FEE SCHEDULE**

INCOMPLETE SUBMITTALS ARE NOT ACCEPTABLE FOR REVIEW AND PROCESSING.

The following fees shall apply to all applications for land use plan amendments, rezoning, special exception use, variances, site plans and other zoning related applications. These fees are used to defray staff cost in the evaluation of the proposal made and provide for the required notices and public advertisements according to Florida State Statute and the Dania Beach Land Development Code. Should any applicant have more than one type of request to the City, the applications involved should be submitted at the same time. The present City policy is to have concurrent reviews being processed before the final review and actions by the Planning and Zoning Board and/or City Commission. It is the obligation of all applicants to review the appropriate City Codes and design standards related to their proposal before making any application to the City. The standard review process for all development applications are two (2) review cycles. **Any additional review or public notice required by staff or professional consultants due to the incorrect interpretation of the Land Development Code will be charged to the applicant as per "Section 685-10 Cost Recovery for Development Review" of the Dania Beach Land Development Code.**

SPECIAL EXCEPTION	
SPECIAL EXCEPTION (Excluding cell towers)	Filing fee = \$3,700.00 plus \$200.00 per acre or portion of such area <i>Includes Staff processing, 2 review cycles, advertising and notice costs</i>
<i>SPECIAL EXCEPTION (Cellular Towers)</i>	Filing fee = \$4,000 <i>Includes Staff processing, 2 review cycles, advertising and notice costs</i>
Additional Resubmittal (In addition to the standard (2) review cycles)	Any additional review or public notice required by staff or professional consultants due to the negligence of the applicant will be charged to the applicant as per Article 685-10 Cost recovery for Development Review of the Dania Beach Land Development Code.
VARIANCES, APPEALS & WAIVERS	
Administrative, Single Family	\$ 300.00
Administrative, all other	\$ 500.00
Single Family/Community Facility	\$ 490.00
Duplex	\$1,050.00
Triplex	\$1,150.00
Multifamily, Hotel, Condo-Hotel (per variance)	\$2,300.00
Nonres. (per variance)	\$2,000.00
Wall Sign	\$ 700.00
Monument Sign	\$1,200.00
Pole Sign (As permitted)	\$2,400.00
Appeal (single family & comm fac)	\$ 650.00
Appeal (all other uses)	\$1,925.00
Dumpster Appeal to Com. Dev. Dir.	\$ 200.00
Dumpster Appeal to City Com.	\$ 500.00
Alcoholic Beverage Variance	\$1,250.00
Mobility	\$1,400.00
Trafficway Waiver	\$4,000.00
Vacation – Road/Easement	\$3,500.00
Alcohol Extended Hours License Application	\$2,250.00
Alcoholic Beverage Waiver	\$1,000.00
Zoning Review: State Liquor License	\$ 50.00
Outdoor Seating/Dinning	\$ 100.00
Assisted Living Facility	\$ 65.00
CRA Grant Application	\$ 800.00 <i>(up to this amount based on scope of work)</i>
UNSPECIFIED	\$ 500.00 PLUS any outside costs incurred by the city as per "Section 685-10"

Revised – 8-23-11 As per City Commission Approval Resolution #2011-090

EXHIBIT "A"

LEGAL DESCRIPTION:

A PORTION OF PARCEL "A", "AIRPORT COMMERCE CENTER PLAT", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 175, PAGE 38, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE MOST SOUTHERLY SOUTHWEST CORNER OF SAID PARCEL "A"; THENCE NORTH 01°31'44" WEST ON A WEST LINE OF SAID PARCEL "A" AND ITS NORTHERLY EXTENSION 175.90 FEET; THENCE NORTH 88°29'24" EAST 147.26 FEET TO THE INTERSECTION WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF THE 40.00 FOOT WIDE INGRESS/EGRESS EASEMENT DEPICTED ON SAID PLAT; THENCE SOUTH 02°34'21" EAST ON SAID NORTHERLY EXTENSION AND ON SAID WEST LINE 173.14 FEET TO THE INTERSECTION WITH THE SOUTH LINE OF SAID PARCEL "A", ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF GRIFFIN ROAD (STATE ROAD NO. 818) AS DEPICTED ON SAID PLAT; THENCE SOUTH 87°25'39" WEST ON SAID SOUTH LINE AND ON SAID RIGHT-OF-WAY LINE 150.44 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA, AND CONTAINING 25,976 SQUARE FEET, 0.5963 ACRES.



July 24, 2015

RE: Wendy's #11614
2109 Griffin Road
Dania Beach, Florida

To Whom It May Concern:

This letter is to authorize and acknowledge that
Corporate Property Services, Inc.
1239 East Newport Center Drive, Suite 113
Deerfield, FL 33442

is to act as agent for The Wendy's Company in all matters related to the Site Plan Approval and all government regulations, approvals and permitting activities with the State of Florida, the County of Broward, and the City of Dania Beach for the aforementioned location.

Sincerely,

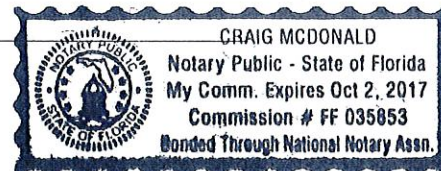
Victor Everingham
Construction Manager

STATE OF FLORIDA
COUNTY OF

The foregoing instrument was acknowledged before me this 24th,
day of July, 2015 by Victor Everingham as
Construction Manager on behalf of the corporation. He is
personally known and did not take an oath.

Signature of Notary Public

My Commission Expires



July 24, 2015

**RE: Wendy's #11614
2109 Griffin Road
Dania Beach, Florida**

To Whom It May Concern:


This letter is to authorize and acknowledge that, with respect to the Wendy's site plan attached hereto,

Corporate Property Services, Inc.
1239 East Newport Center Drive, Suite 113
Deerfield, FL 33442

is to act as agent for Griffin Road Three LLC in all matters related to the Site Plan Approval and all government regulations, approvals and permitting activities with the State of Florida, the County of Broward, and the City of Dania Beach for the aforementioned location. This letter of authorization may be revoked at any time.

Sincerely,

GRIFFIN ROAD THREE, LLC



Nicholas Economos, Jr.
Authorized Agent

STATE OF FLORIDA
COUNTY OF

The foregoing instrument was acknowledged before me this 24, day of July, 2015 by Nicholas Economos, Jr., as Authorized Agent on behalf of the company. He is personally known and did not take an oath.



Signature of Notary Public



My Commission Expires

LETTER OF TRANSMITTAL

CORPORATE PROPERTY SERVICES, INC.

1239 E NEWPORT CENTER DRIVE, SUITE 113
DEERFIELD BEACH, FLORIDA 33442

TELEPHONE: (954) 426-5144

FACSIMILE: (954) 570-3391

E-MAIL: craig@corporatepropertyservices.net



August 6, 2015

To: City of Dania Beach
Department of Community Development
Planning and Zoning Division
100 W Dania Beach Boulevard
Dania Beach, FL 33004

Job No.:	1309-07
Attention:	Ms. Corrine Lajoie
Re:	Wendy's #11614
	2109 Griffin Road Dania Beach, FL Site Plan/Special Exception/Variences

Via: U.S. Mail Overnight Delivery Hand Delivery

We are sending you the following items:

Copies	Description
1	Site Plan Application, Legal Description, Letters of Authorization, Plat, and Fees
1	Special Exception Application, Legal Description, Letters of Authorization, Special Exception Use Standards Justification, and Fees
1	Variance Application for relief from the required 50,000 s.f. Bldg and Common Wall Requirement for a Wendy's Fast Food Restaurant located in the IROM Zoning District, Legal Description, Letters of Authorization, Variance Justification Statement, and Fees
1	Variance Application for a Drive-thru Facility Use in the IROM Zoning District for a Wendy's Fast Food Restaurant, Legal Description, Letters of Authorization, Variance Justification Statement, and Fees
1	Variance Application for Outdoor Seating as an Accessory Use to the Wendy's Restaurant in the IROM Zoning District, Legal Description, Letters of Authorization, Variance Justification Statement, and Fees
6	Signed and sealed sets of Plans for Site Plan, Special Exception, and Variance Approvals

These are transmitted as checked below:

For approval

For your use

For review and comment

Remarks:

Thanks for your assistance and please let me know if you need anything else or if you have any questions.

Signed: Craig McDonald
Corporate Property Services, Inc.
1239 E Newport Center Drive - Suite 113
Deerfield Beach, FL 33442
Tel: (954) 426-5144
Fax: (954) 570-3391
Cell: (954) 698-7972

PAYMENT DATE
08/07/2015

COLLECTION STATION
City Hall Window 2

RECEIVED FROM
CRAIG MCDONALD

City of Dania Beach
100 W. Dania Beach Blvd.
Dania Beach, FL 33004

BATCH NO.
2015-11001005

RECEIPT NO.
2015-00046438

CASHIER
fincashier2

DESCRIPTION
CORPORATE PROTERTY SERVICES 1239 E NEWPORT CTR. DR. STE.#113 DEERFIELD BEACH FL 33442

PAYMENT CODE	RECEIPT DESCRIPTION		TRANSACTION AMOUNT												
PSP	Appl Review - Standard		\$6,000.00												
PSP	Appl Review - Standard		\$3,900.00												
PLP	Appl Review - Exeptional/Large P/Z ITEM# 5042-28-17-0030 VA-82-15; 84-15 2109 GRIFFIN RD, DB		\$5,500.00												
	Payments:	<table border="1"> <thead> <tr> <th>Type</th> <th>Detail</th> <th>Amount</th> </tr> </thead> <tbody> <tr> <td>Check</td> <td>27753</td> <td>\$5,500.00</td> </tr> <tr> <td>Check</td> <td>27754</td> <td>\$3,900.00</td> </tr> <tr> <td>Check</td> <td>27755</td> <td>\$6,000.00</td> </tr> </tbody> </table>	Type	Detail	Amount	Check	27753	\$5,500.00	Check	27754	\$3,900.00	Check	27755	\$6,000.00	
Type	Detail	Amount													
Check	27753	\$5,500.00													
Check	27754	\$3,900.00													
Check	27755	\$6,000.00													
Total Amount:			\$15,400.00												

Customer Copy

27753

CORPORATE PROPERTY SERVICES, INC.
1239 E. NEWPORT CENTER DR., STE 113
DEERFIELD BEACH, FL 33442
954-426-5144

ESBANK® Check Fraud
Protection for Business
63-9138-2631

DATE 8/6/15

PAY TO THE ORDER OF City of Dania Beach \$ 5,500.⁰⁰
Five Thousand Five Hundred Dollars & 00/100

BB&T
BRANCH BANKING AND TRUST COMPANY
FLORIDA

FOR 1309-07 Site Plan submittal fee

[Signature]

⑈00027753⑈ ⑆263191387⑆ 100003988293⑈

MP

27754

CORPORATE PROPERTY SERVICES, INC.
1239 E. NEWPORT CENTER DR., STE 113
DEERFIELD BEACH, FL 33442
954-426-5144

ESBANK® Check Fraud
Protection for Business
63-9138-2631

DATE 8/6/15

PAY TO THE ORDER OF City of Dania Beach \$ 3,900.⁰⁰
Three Thousand Nine Hundred Dollars & 00/100

BB&T
BRANCH BANKING AND TRUST COMPANY
FLORIDA

FOR 1309-07 Special Exemption fee

[Signature]

⑈00027754⑈ ⑆263191387⑆ 100003988293⑈

MP

27755

CORPORATE PROPERTY SERVICES, INC.
1239 E. NEWPORT CENTER DR., STE 113
DEERFIELD BEACH, FL 33442
954-426-5144

ESBANK® Check Fraud
Protection for Business
63-9138-2631

DATE 8/6/15

PAY TO THE ORDER OF City of Dania Beach \$ 6,000.⁰⁰
Six Thousand Dollars and 00/100

BB&T

MP

27755

CORPORATE PROPERTY SERVICES, INC.
1239 E. NEWPORT CENTER DR., STE 113
DEERFIELD BEACH, FL 33442
954-426-5144

ESBANK® Check Fraud
Protection for Business
63-9138-2631

DATE 8/6/15

PAY TO THE ORDER OF City of Dania Beach \$ 6,000.⁰⁰
Six Thousand Dollars and 00/100 DOLLARS

Security Features
Check on Back.

BB&T
BRANCH BANKING AND TRUST COMPANY
FLORIDA

Daniel Randall

FOR 1309-07 variance fee for DIT,
outdoor seating
& front sign

⑆00027755⑆ ⑆263191387⑆ ⑆00003988293⑆

MP

54



CITY OF DANIA BEACH
COMMUNITY DEVELOPMENT
Payment Receipt

No: 000607

Date: 8/6/15

RECEIVED FROM:

Name: Craig McDonald

Address: Corporate Property Services

Address 2: 1239 E Newport Ctr. Dr., Suite 113

City/St/ZIP: Deerfield Beach, FL 33442

Service or Item	Amount
<u>PSP - Standard Develop/Variance etc Application Fee</u>	<u>\$6000.00</u>
<u>PSP - Standard Develop/Variance etc Application Fee</u>	<u>\$3900.00</u>
<u>PLP - Large - Site Plan Review Application Fee</u>	<u>\$5500.00</u>

P/Z ITEM # 5042-28-17-0030 Ck.#27753 \$5500/SP-80-15; Ck#27754 \$3900/SE-81-15; Ck-#27755 \$6000/VA-82-15; 83-15; 84-15

LOCATION: 2109 Griffin Road, DB

APPLICANT: Same as above

PREPARED BY:

TOTAL DUE: \$15400.00



CITY OF DANIA BEACH
COMMUNITY DEVELOPMENT
Payment Receipt

No: 000639

Date: 10/8/15

RECEIVED FROM:

Name: CORPORATE PROPERTY SERVICES, INC.

Address: 1239 E NEWPORT CENTER DRIVE

Address 2: STE 113

City/St/ZIP: DEERFIELD BEACH, FL 33442

Service or Item	Amount
<u>PCR - Application Review - Cost Recovery - Rebill</u>	<u>\$2500.00</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

P/Z ITEM # SP-80-15

LOCATION: #5042-28-17-0030; WENDY'S INTERNATIONAL
2071 GRIFFIN ROAD

APPLICANT: CORPORATE PROPERTY SERVICES, INC

PREPARED BY: Anne-Christine Carrie **TOTAL DUE:** \$2500.00

PAYMENT DATE
10/08/2015

COLLECTION STATION
City Hall Window 1

RECEIVED FROM
CORPORATE PARKWAY
SERVICES INC

DESCRIPTION
2071 GRIFFIN ROAD

City of Dania Beach
100 W. Dania Beach Blvd.
Dania Beach, FL 33004

BATCH NO.
2016-01000029

RECEIPT NO.
2016-00001597

CASHIER
fincashier1

PAYMENT CODE	RECEIPT DESCRIPTION	TRANSACTION AMOUNT						
PCR	Appl Review - Additional/Rebills	\$2,500.00						
Payments:	<table border="1"><thead><tr><th>Type</th><th>Detail</th><th>Amount</th></tr></thead><tbody><tr><td>Check</td><td>28068</td><td>\$2,500.00</td></tr></tbody></table>	Type	Detail	Amount	Check	28068	\$2,500.00	
Type	Detail	Amount						
Check	28068	\$2,500.00						
	Total Amount:	\$2,500.00						

Customer Copy

28068

CORPORATE PROPERTY SERVICES, INC.
1239 E. NEWPORT CENTER DR., STE 113
DEERFIELD BEACH, FL 33442
954-426-5144

63-9138-2631

Security Features
Details on Back

DATE 10/8/15

PAY TO THE ORDER OF City of Dania Beach \$ 2,500.00

Two Thousand Five Hundred 00/100 DOLLARS

Alan McDonald

FOR 1309-07 City Attorney Cost
Recovery

⑆00028068⑆ ⑆263191387⑆ ⑆100003988293⑆

MP

SP-80-15